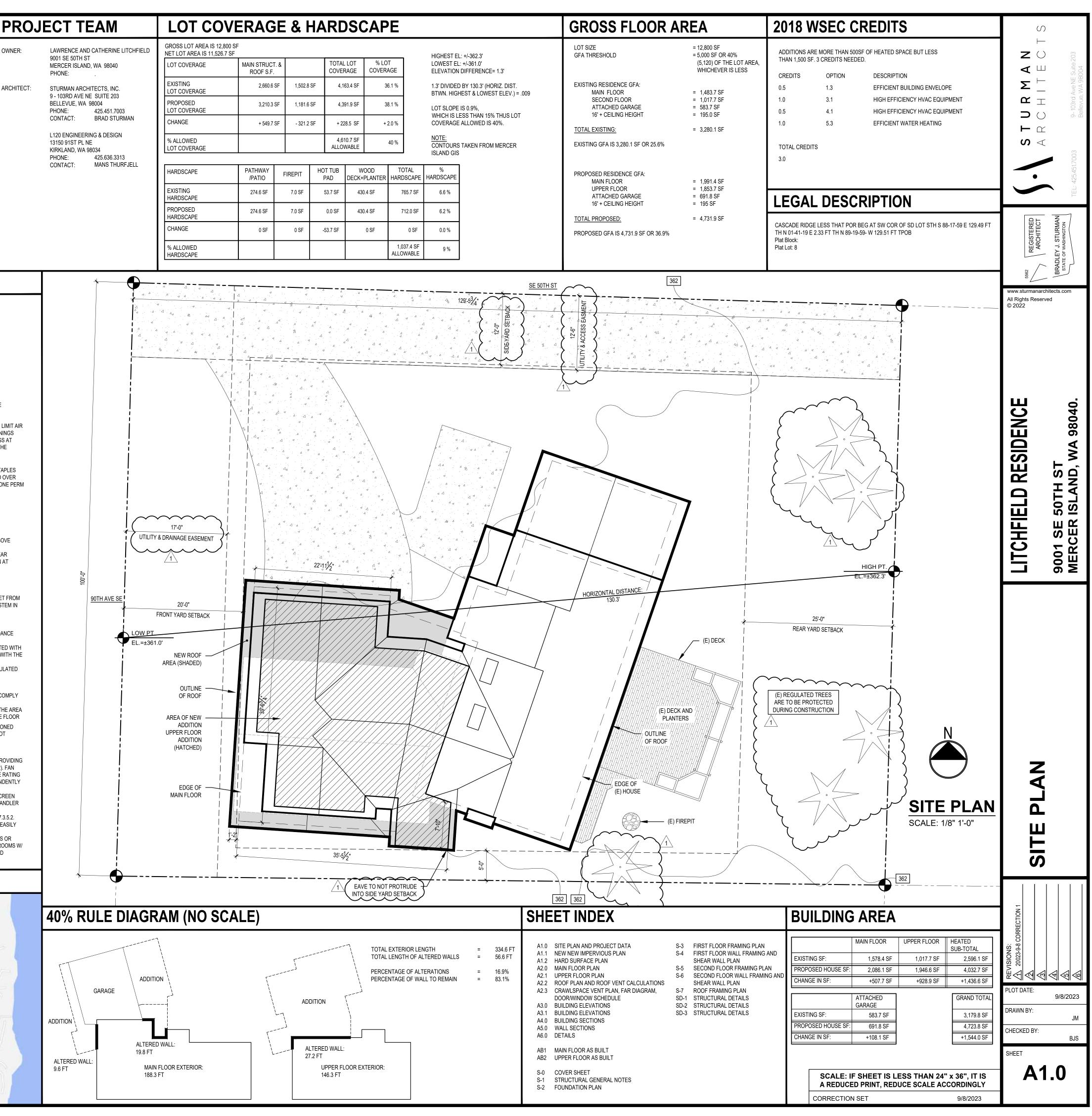
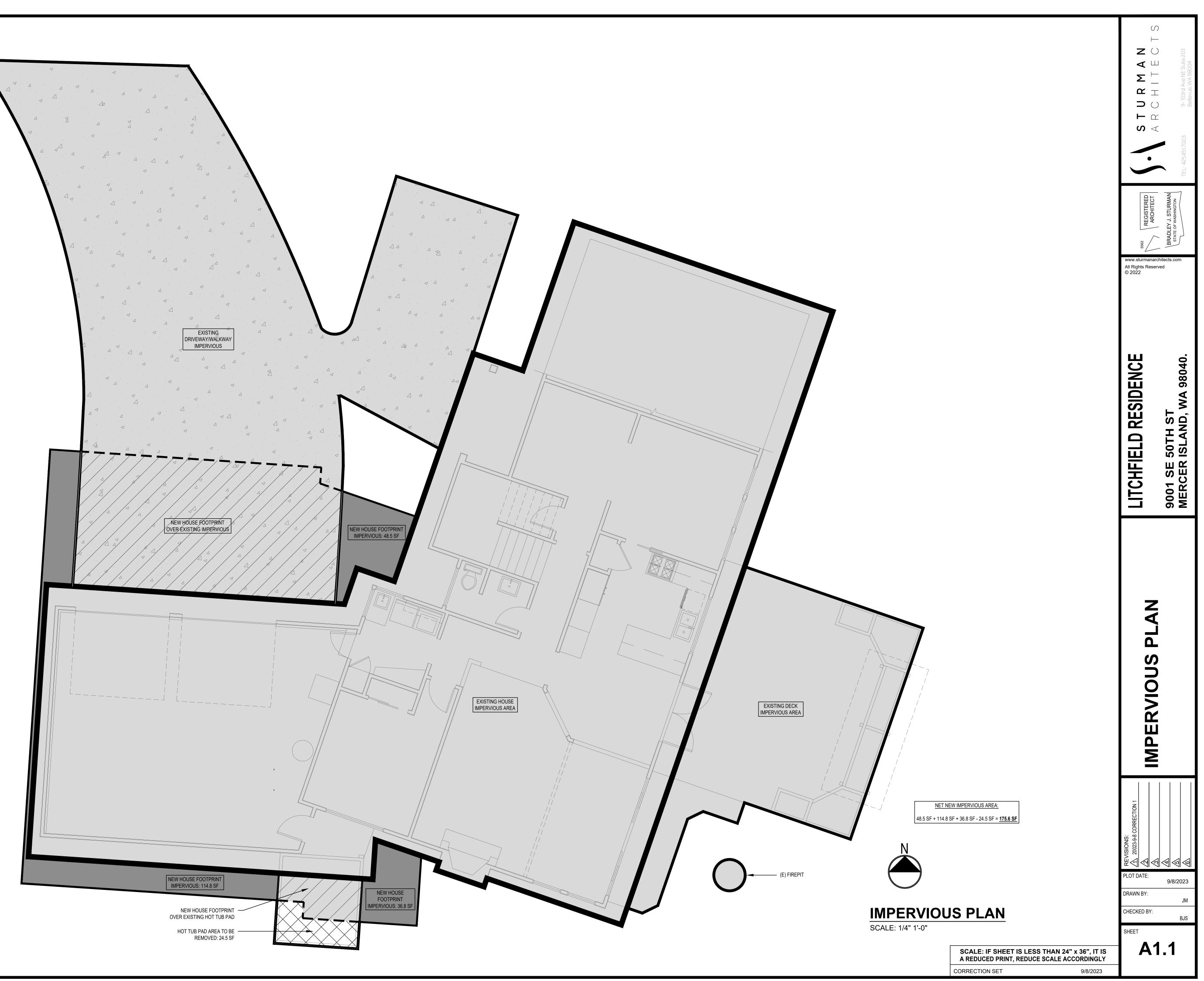
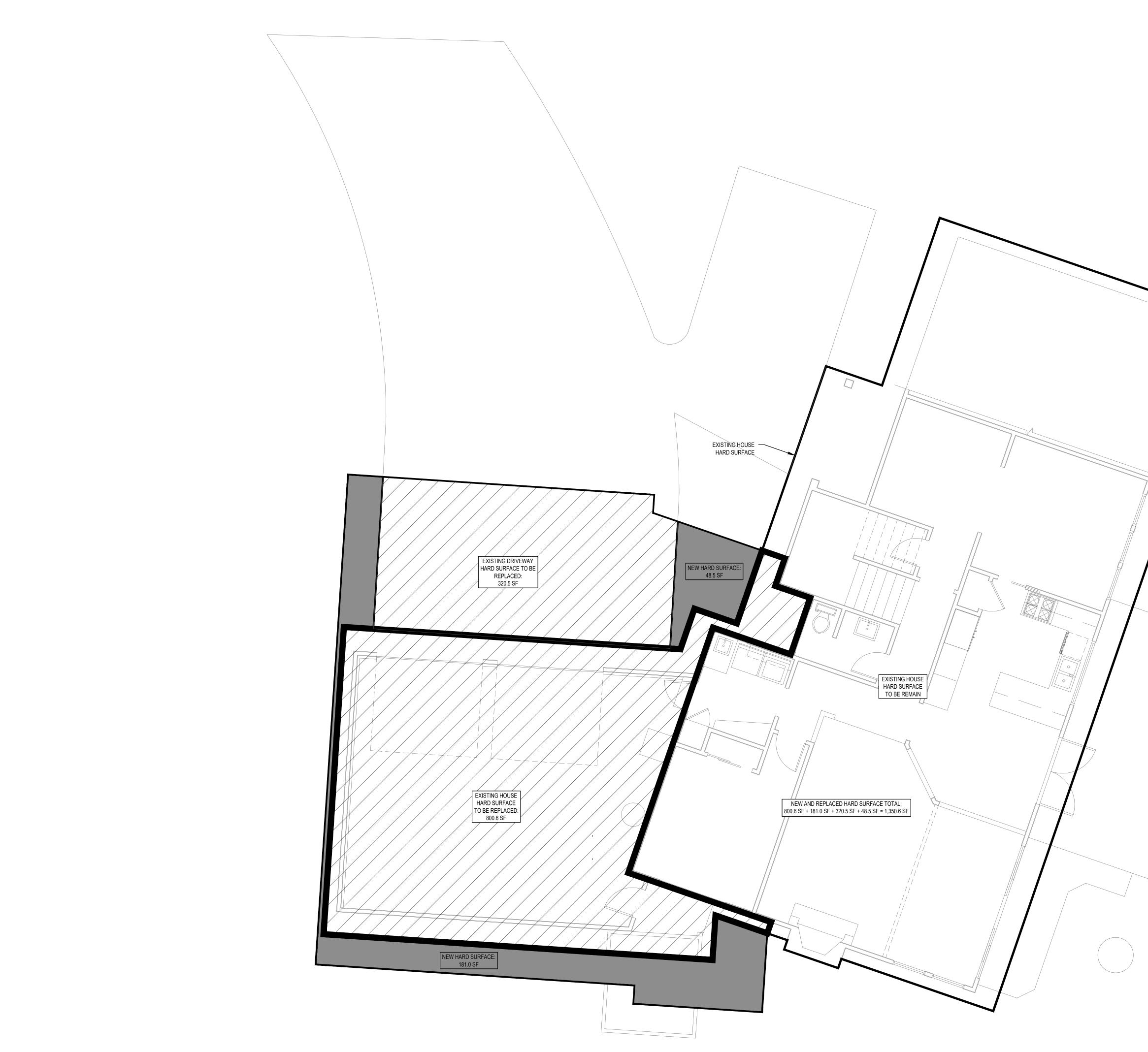
GEI		DTES		PROJEC	T DATA	P
ALL W		E 2018 IRC, 2018 IMC, 2018 IFGC, 2018 IF ATION CODE WITH WASHINGTON STATI	C, 2018 UPC, 2018 IPMC, 2020 NEC, 2015 E AMENDMENTS, 2009 ICC A117.1, AND	PROJECT ADDRESS:	9001 SE 50TH ST MERCER ISLAND, WA 98040	OV
WITH /	ALL LOCAL CODES AND ORDIN		- /	PROPERTY TAX ID NUMBE		
Α. Ε		RIFY ALL DIMENSIONS PRIOR TO STAR S. IF WORK IS STARTED PRIOR TO NO		SCOPE OF WORK:	DEMO/REBUILD OF EXISTING GARAGE WITH A NEW 108SF EXPANSION OVER THE EXISTING DRIVEWAY. NEW 507SF ADDITION/REMODEL OF THE MAIN LEVEL WITH A NEW 928 SI	AR
в. L	SUBCONTRACTOR PROCEED A INLESS OTHERWISE NOTED, F	NT THEIR OWN RISK. PLAN DIMENSIONS ARE TO FACE OF STU	JDS OR FACE OF CONCRETE WALLS. FACE	ZONING:	ADDITION/REMODEL OF THE MAIN LEVEL WITH A NEW 928 ST ADDITION OVER THE NEWLY ADDED GARAGE/MAIN FLOOR. R-8.4	
5	TUDS UNLESS OTHERWISE N		RIOR PLAN DIMENSIONS ARE TO FACE OF	CONSTRUCTION TYPE:	TYPE V B	
/ T	APPLIANCES PRIOR TO COMMI TOLERANCES REQUIRED.	TMENT OF WORK. NOTIFY ARCHITECT	OF ANY DISCREPANCIES OF DIMENSIONAL	SEISMIC ZONE:	3 2 STORY	
CON	UMENT REVIEW/VERIFICATION SULT WITH ARCHITECT REGA CEEDING WITH THE WORK		SSIONS, OR CHANGES ON PLANS BEFORE	NUMBER OF STORIES: FIRE PROTECTION:	2 STORY NEW NFPA FIRE SPRINKLER SYSTEM	
4. ROU VER	GH OPENINGS/BACKING: IFY SIZE AND LOCATION, AS W	YELL AS PROVIDE ALL OPENINGS THRO		BUILDING HEIGHT	30 FT ABOVE AVERAGE BUILDING ELEVATION (FLAT ROOF) 35 FT ABOVE AVERAGE BUILDING ELEVATION (SLOPED ROOF	-)
5. FURI	RING:		CKING FOR SURFACE-MOUNTED ITEMS.		12,800 SF	
FURI 6. GRA	RING NOT SHOWN ON PLANS S DES: VERIFY ALL GRADES AN	SHALL BE APPROVED BY ARCHITECT PP ID THEIR RELATIONSHIP TO THE BUILD	RIOR TO CONSTRUCTION. ING(S).	NET AREA:	12,000 SF - 1,273.3 ACCESS EASEMENT SF = <u>11,526.7 SF</u>	
	ETITIVE FEATURES: OFTEN DF	RS TO TOP OF CONCRETE SLAB OR TO AWN ONLY ONCE AND SHALL BE PROV		SETBACKS:	FRONT LOT LINE = 20 FT REAR LOT LINE = 25 FT SIDE LOT LINES = 15 FT TOTAL (MINIMUM 5 FT)	
DOO CEN	RS NOT DIMENSIONALLY LOC. TERED BETWEEN WALLS AS S	HOWN.	DEDGE OF DOOR, ROUGH OPENING OR	LOT COVERAGE:	40% MAX	
	E PRESSURE TREATED, TYPIC	H CONCRETE, AND/OR EXPOSED TO W CAL. PROVIDE PRESSURE TREATED SIL	EATHER: L PLATE IF FINISH GRADE IS WITHIN 8",			
11. FRAI ALL	MING: NEW INTERIOR FRAME PARTIT		EXTERIOR FRAME PARTITIONS TO BE 2X6	ENERGY	NOTES	
12. VEN	TILATION:	OTED. VERIFY W/ STRUCTURAL DRAWI		CODE:	2018 W.S.E.C. & 2018 IRC, WAC 51-11R	
BATI DIRE	HROOM/UTILITY ROOM FANS S CTLY TO THE OUTSIDE THRO	IGHT FANS, IGHOL FOODS AND DIVER HALL BE CAPABLE OF 5 AIR CHANGES UGH SMOOTH, RIGID, NON-CORROSIVE	PER HOUR AND SHALL BE VENTED	CLIMATIC ZONE: SPACE HEAT TYPE:	ZONE #4C NATURAL GAS	
ALL		OVER 400CFM SHALL HAVE A MAKE-UP ONTINUOUSLY WITH THE FAN CAPABLE	AIR DEVICE W/ DAMPER STARTING OF SUPPLYING AN EQUIVALENT AMOUNT	INSULATION VALUES:	NATURAL GAS WALLS: R-21 FLAT ATTICS/CEILINGS: R-49	
OF A 13. FLUE	IR. ES: FLUES TO BE LOCATED MII	NIMUM 2" FROM ALL COMBUSTIBLE MAT	ERIALS.	PRESCRIPTIVE METHOD	VAULTED CEILINGS: R-38 FLOORS (OVER UNHEATED	
15. OTH	ER DOCUMENTATION:	INSPOUTS AS SHOWN ON ROOF PLAN,	FLOOR PLANS & ELEVATIONS. E DRAWINGS FOR ADDITIONAL DRAWINGS,		SPACES): R-30 SLAB-ON-GRADE: R-10	
NOT 16. PRO	ES, SCHEDULES, AND SYMBOI TECTION:	_S.		THERMAL STANDARDS FOR OPENINGS:	UNLIMITED OPTION	
	WNER.	AND SURFACES. ANY DAMAGE WILL BE	REPAIRED WITHOUT ADDITIONAL COST	AIR INFILTRATION:	MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 WASHINGTON STATE ENERGY CODE	OF THE
SEP/ BUIL	ARATE ELECTRICAL, MECHANI DING PERMIT	CAL, AND PLUMBING PERMITS ARE REC	QUIRED IN ADDITION TO THE BASIC		EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERST	
19. EXH/		G TO MATCH EXISTING. DRAFT DAMPERS AT ALL EXHAUST DUC NGS INTO FURNACE ROOM PER UMC 7(			LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF; OF PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENING	PENINGS A
21. APP CLE/	LIANCES: ARANCES OF UL LISTED APPLI		J3. .S SHALL BE AS SPECIFIED IN UL LISTING.		BUILDING ENVELOPE	-
SHO	ER FLOW: WER SHALL BE EQUIPPED WIT KE DETECTORS:	TH FLOW CONTROL DEVICE TO LIMIT W	ATER FLOW TO 2.5 GALLONS PER MINUTE.	MOISTURE CONTROL:	WALLS: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL W NOT MORE THAN 8 INCHES ON CENTER AND AND WITH A GAP BETWEE FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDE	EN AND OV
NFP/ INST	A 72 CHAPTER 29 MONITORED ALLED PER NFPA AND COMI S	FIRE ALARM SYSTEM REQUIRED THRO TANDARDS. A SEPARATE FIRE PERMIT	IS REQUIRED.		CUP RATING (4 MIL POLYETHYLENE)	
FIRE	BLOCKING SHALL BE PROVID		T OPENINGS AND FORM A VERTICAL AND ROOF SPACE PER IRC R302.11 AND R302.7		ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 M POLYETHYLENE). INSTALL CONTINUOUSLY	11L
			ROOF SPACE FERING RS02. IT AND RS02. I	1	CRAWL SPACE: 6 MIL POLYETHELENE	
	<u>/ OF COOP</u>			VENTILATION:	ATTICS WITH LOOSE FILL: N.A. BAFFLE VENT OPENINGS TO DEFLECT INSULATION SURFACE ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INC	
INDICATES (	ND ACCEPTANCE OF THESE COOPERATION AMONG THE DR, AND STURMAN ARCHITE	OWNER,			VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSUL PERIMETER TO INSURE PROPER VENTILATION	
ERRORS, OI	OR, AND STORMAN ARCHITE MISSIONS, OR DISCREPANCI OF THESE DOCUMENTS SHA	ES DISCOVERED		HEATING & COOLING:	EXISTING NATURAL GAS FURNACE	
IMMEDIATEL SO SHALL R	LY TO STURMAN ARCHITECT	S. FAILURE TO DO CTS FROM ANY		TEMP. CONTROL:	FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BE 55-85 DEGREES FARENHEIT AND OF OPERATING THE HEATING/COOLII	NG SYSTEM
	ILITY FOR THE CONSEQUEN				SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TY	(PE.
THE CONSE	NT OF STURMAN ARCHITEC ZED. FAILURE TO OBSERVE	TS ARE THESE		DUCT INSULATION:	THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN AC WITH TABLE R403.3.1 OF THE WASHINGTON STATE ENERGY CODE.	
	ES SHALL RELIEVE STURMAI ILITY FOR ALL CONSEQUEN( I ACTIONS.				<ul> <li>ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE IN A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FAST MINIMUM OF FASTENERS PER WSEC.</li> </ul>	
					<ul> <li>b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL I TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.</li> </ul>	BE INSULA
	UALUULA	TIONS NO SCALE	<b>図</b>	LIGHTING:	RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE S	HALL CON
					WITH WSEC PROVISIONS AND SHALL BE IC LISTED. ALL ROOMS WITHOUT GLAZING SHALL HAVE ARTIFICIAL LIGHTING ACI OF THE ROOM PRODUCING AN AVERAGE 6 FOOTCANDLES AT 30" ABO	
		$\mathcal{A}$		PIPE INSULATION:	NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCO SPACE SHALL BE INSULATED TO R-3 MIN. PLUMBING OR MECHANICAL	ONDITIONE
			7	WHOLE HOUSE	DISPLACE THE REQUIRED INSULATION. WHOLE HOUSE VENTILATION SYSTEM:	
	27.1%		//	VENTILATION:	a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY EXHAUST 78 CFM RUNNING CONTINUOUSLY PER 2018 IRC TABLES M1505.4	4.3 (1&2). FA
		the second secon	//		SHALL BE CONNECTED TO A 24 HOUR CLOCK TIMER AND HAVE A OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE IN OF HEATING SYSTEM.	A SÒNE RA
	(H **		-®		b. SYSTEM SHALL HAVE A 5"Ø SMOOTH FRESH AIR DUCT W/ LOUVE CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE	E AIR HAND
		//			AND INSULATED W/ R-4 MIN IN HEATED AREAS. ALL SUPPLY DUC CONDITIONED SPACE SHALL BE INSULATED TO MIN. R-4 PER IRC c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTEALLED	CM1507.3.5
	28 <b>4</b>				ACCESSIBLE LOCATION. d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF	ODORS OF
	G				FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY F FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPAC GARAGES.	
AVER/	GE BUILDING	ELEVATION				
	Wall Ler	-	Wall Length X Elev. Pt.	ac 40th St	Entoyether SE409 A	
A B	22.20 60.00		8038.62 21720.00	86th Ave SE	Park	
С	19.50		7060.95	e SE 81st	SE 47th St	
D E	7.80		2824.38 3220.91	Ave SE	Mercer Islano	
F	2.30	361.80	832.14	44.00	Baumgartner Insurance	
G H	26.50		9585.05 14327.28	the store way with the	e <sup>sh</sup> P	
Ι	22.90	) 362.00	8289.80			
J K	2.20		796.18 4634.88	Spring Trust		
L	8.50	362.10	3077.85	6 <sup>, ST</sup>	BERTA A	
М	5.00		1810.50 8690.40	C.A	A SE	
N I	24.00			- 9	c3 <sup>idPi</sup>	
N	262.2	.0 5067.80	94908.94	Neroor Way	GEV .	
94908		0 5067.80	94906.94	Nercer W <sup>84</sup> Island I Elementary Sci	Bark	







		SLEPAGE STURMAN STATE OF WASHINGTON IEL: 425,4517003 BRADLEY J. STURMAN STATE OF WASHINGTON TEL: 425,4517003 Delador Note Contraction State of Washington TEL: 425,4517003 Delador Note Contraction State of Washington All Kights Reserved © 2025
		LITCHFIELD RESIDENCE 9001 SE 50TH ST MERCER ISLAND, WA 98040.
		HARD SURFACE PLAN
N         N <td< th=""><th>FACE PLAN         SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS         AREDUCED PRINT, REDUCE SCALE ACCORDINGLY         CORRECTION SET</th><th>PLOT DATE: 9/8/2023 DRAWN BY: JM CHECKED BY: BJS SHEET A1.2</th></td<>	FACE PLAN         SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS         AREDUCED PRINT, REDUCE SCALE ACCORDINGLY         CORRECTION SET	PLOT DATE: 9/8/2023 DRAWN BY: JM CHECKED BY: BJS SHEET A1.2

#### WALL PARTITION TYPES: N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.

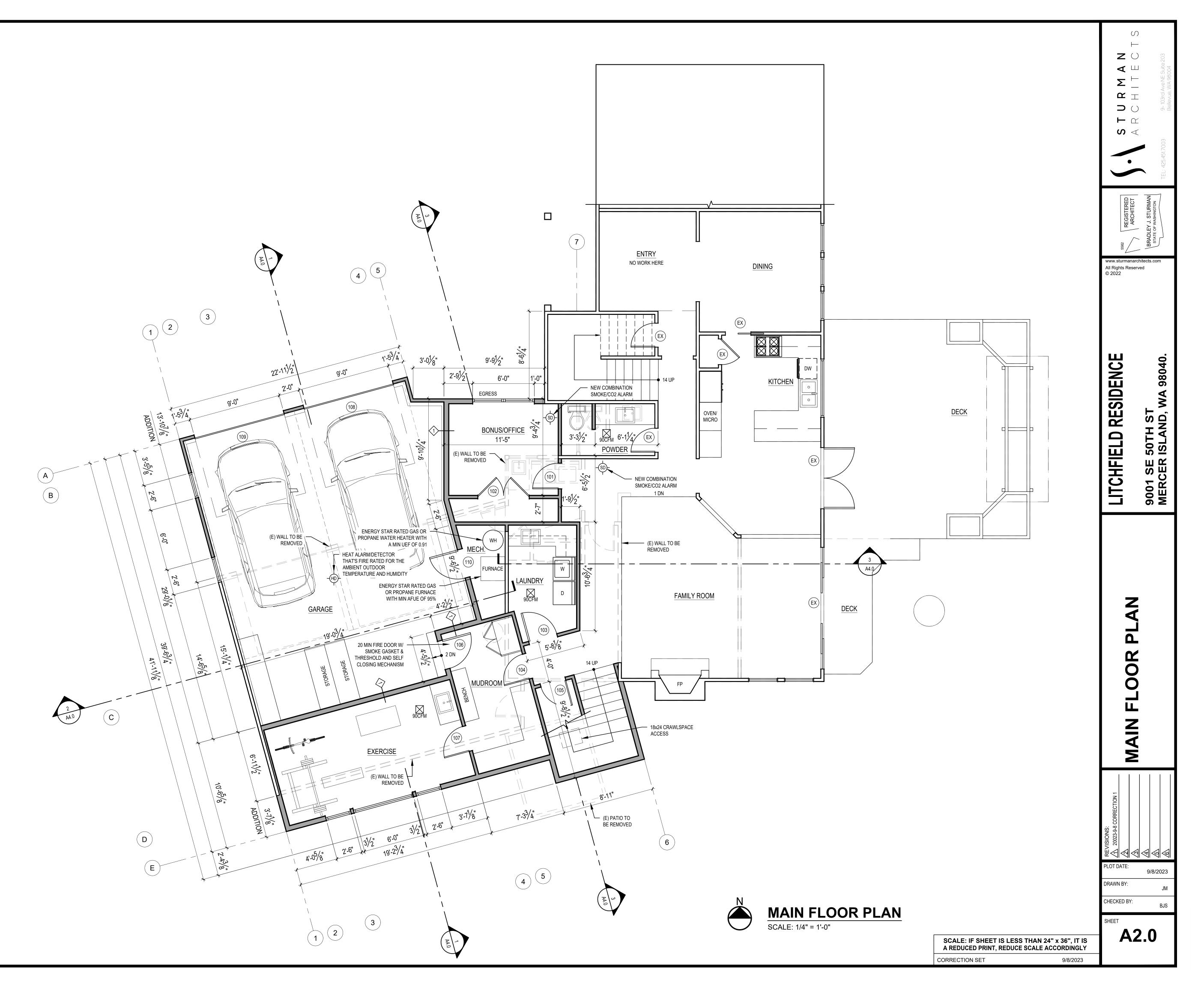
<u> </u>	TYPICAL EXTERIOR WALL EXTERIOR WALL FINISH o/ (2) LAYERS 60# BLDG. PAPER o/ 1/2" CDX PLYWOOD o/ 2x6 WOOD STUDS AT 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION EXCEPT AROUND GARAGE.
	TYPICAL INTERIOR PARTITION U.N.O. ALL INTERIOR WALL SHALL BE 2x4 WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD EACH SIDE.

4 4

TYPICAL FURRED WALL2" AIRSPACE, 2x4 P.T. WOOD STUDS @ 16" O.C. w/ 1/2"333444545455567777787778787878787888</td MMINSULATION.

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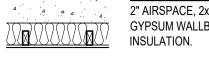
<u>1HR. FIRE RATED WALL</u> 5/8" THK GWB, TYPE 'X' O/ 2X6 WD STUDS @ 16" O.C. PANELS NAILED 7" O.C.-1 7/8" CEM CTD NAILS- JOINTS EXP OR FIN - PERIM CAULKED- UL DES U305 & U314- JOINTS FIN



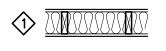
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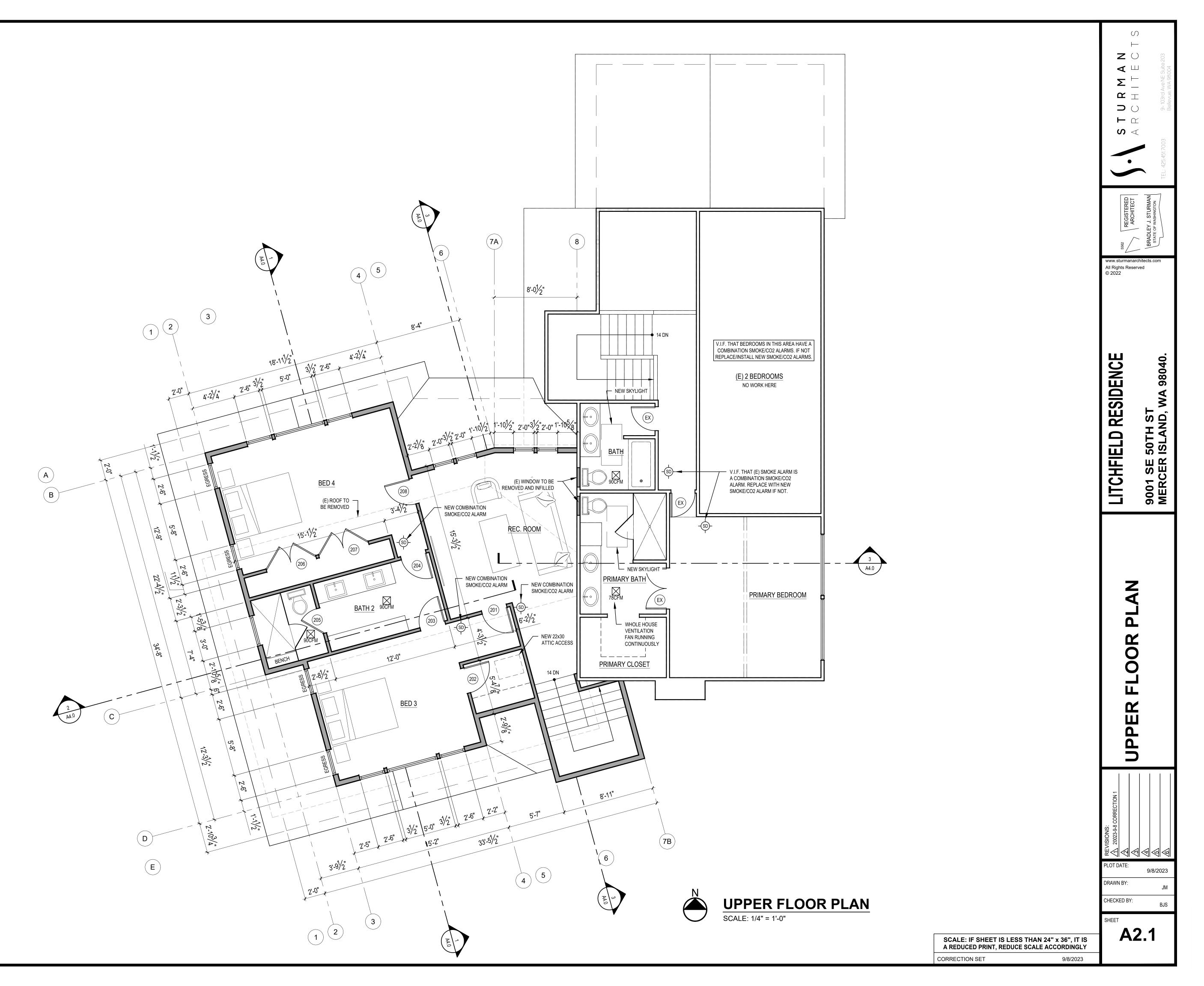
TYPICAL FURRED WALL

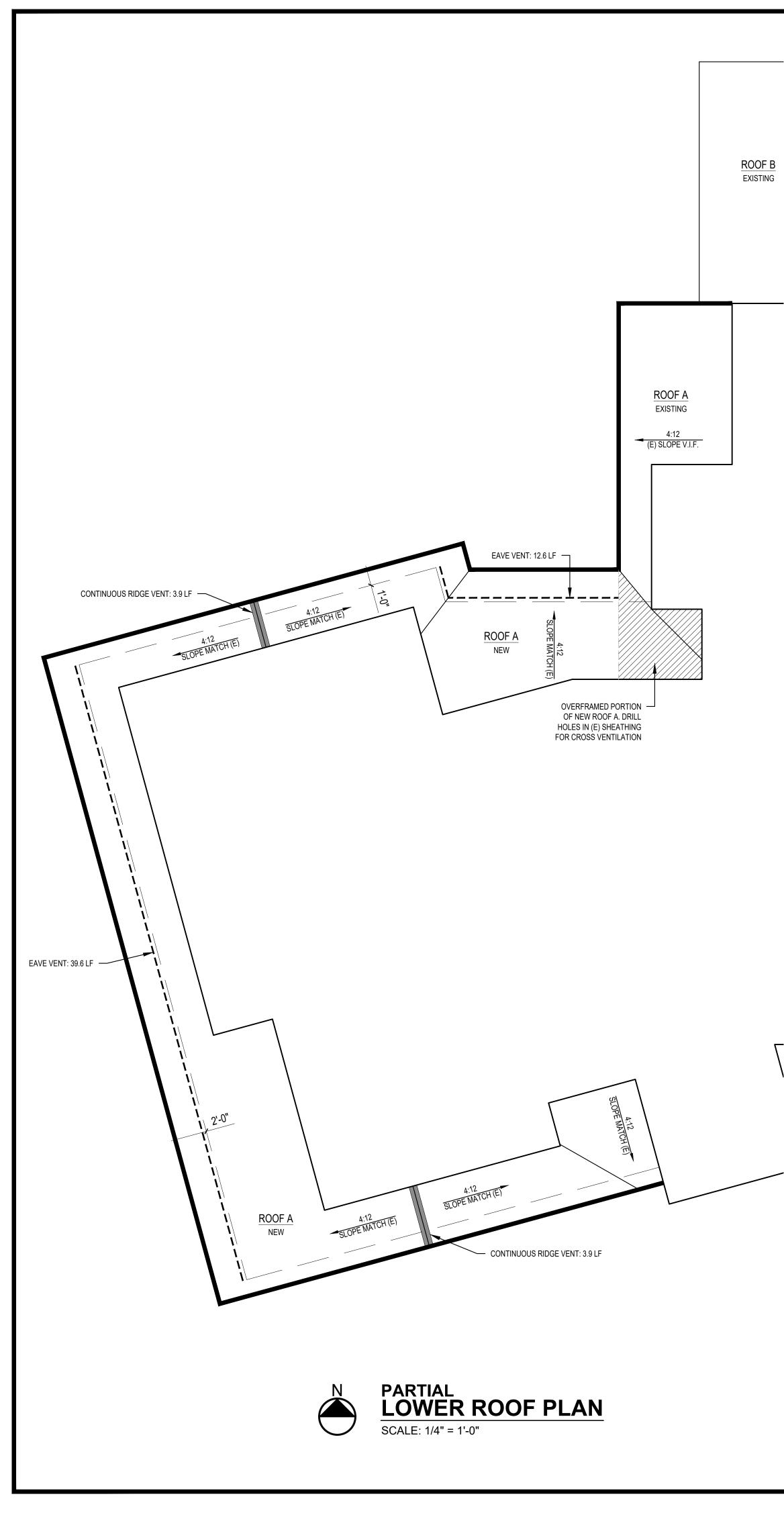


2" AIRSPACE, 2x4 P.T. WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.

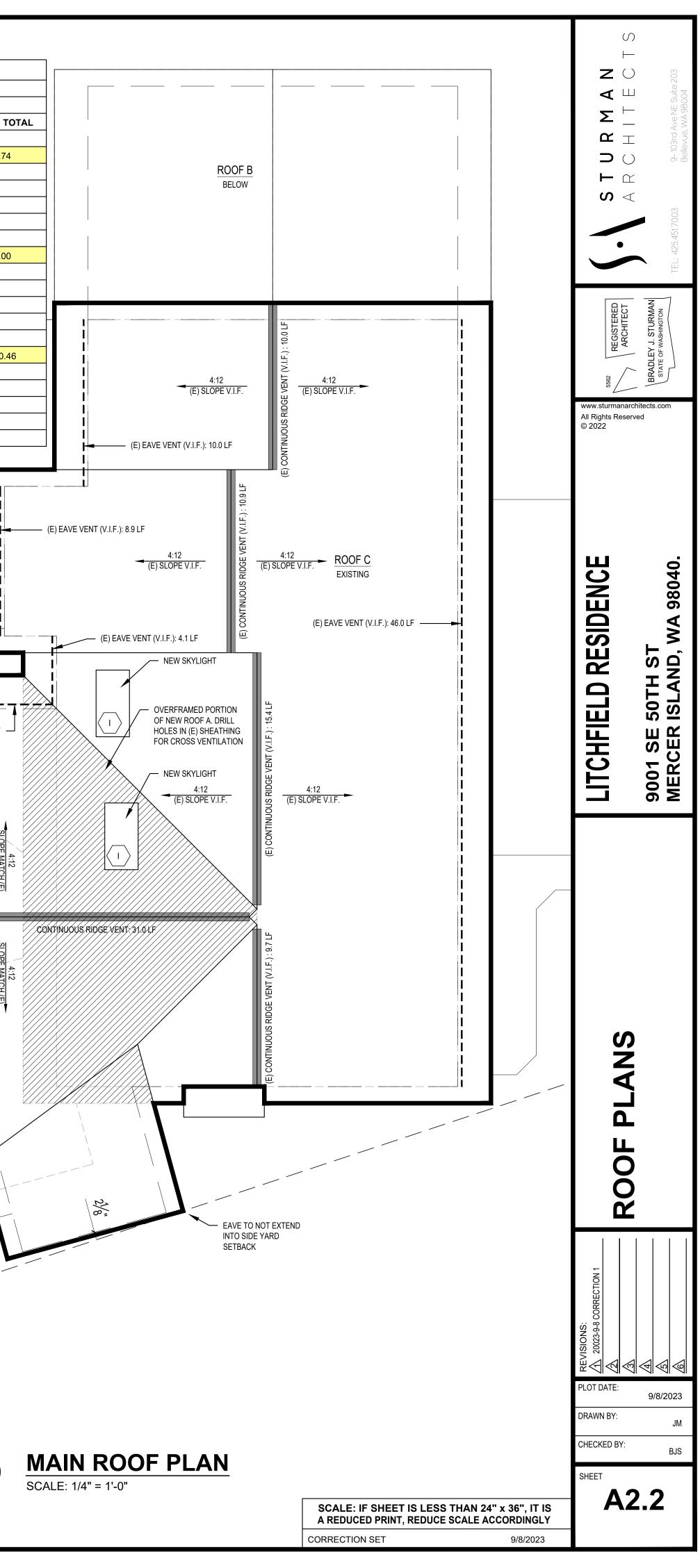


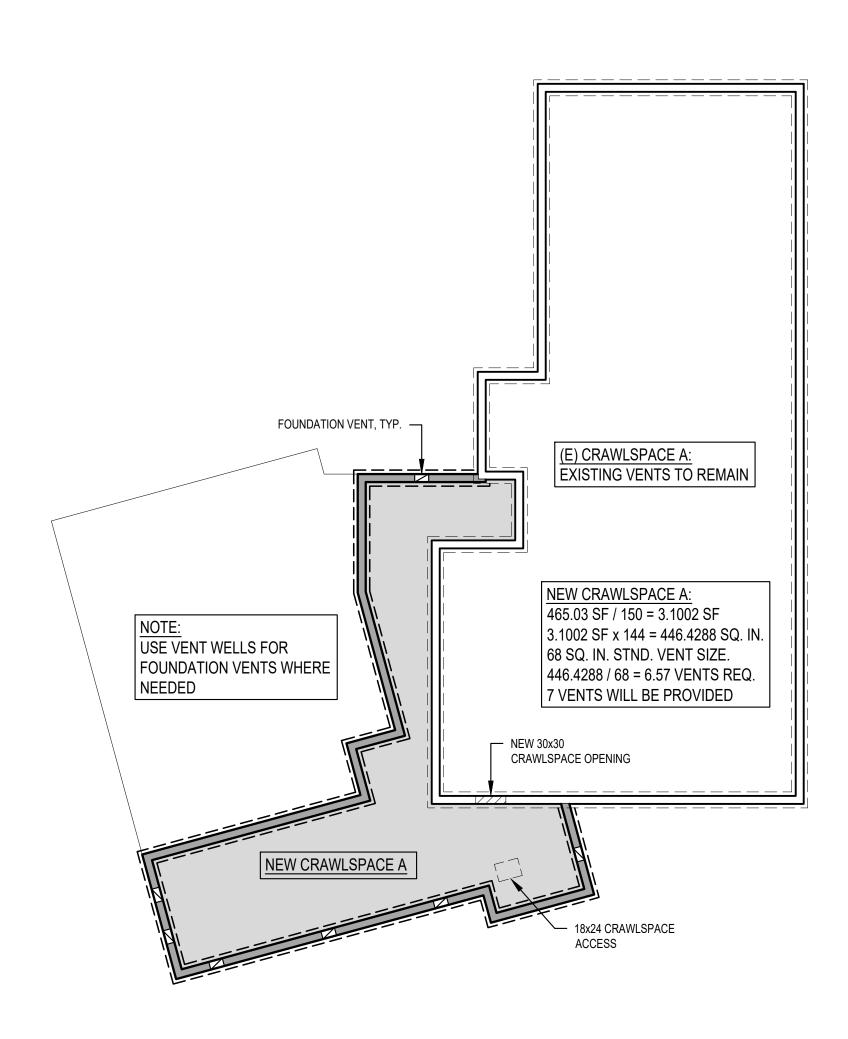
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ł	ROOF VENT		ONS		CALCULATIONS									ACTUAL	
ł		SF AREA	REQ. VE	NTING		о Г ТҮРЕ		VENT L.F.		TOTAL		SF CONVERT.		80% EFF	
			PER SF	AREA 300	RIDGE	EAVE	X		=	VENT AREA SQ. IN.	x	1/144	x	FACTOR	то
			150	300	RIDGE	10 SQ.IN./FT.		52.2		939.6		6.53		5.22	5.74
						1.5x1.0" VENT									
	ROOF A	591	3.94		12 SQ.IN/FT.			7.8		93.6		0.65	-	0.52	
										0		0.00		0.00	
						10 SQ.IN./FT.				0		0.00		0.00	0.00
						1.5x1.0" VENT						0.00		0.00	0.00
	ROOF B No Change in				12 SQ.IN/FT.					0		0.00	-	0.00	
_	Existing				CONTINUOUS		-			0	-	0.00	-	0.00	
						10 SQ.IN./FT. 1.5x1.0" VENT	-	134.1		2413.8		16.76	-	13.41	<mark>20.46</mark>
	ROOF C	2,497	16.65		12 SQ.IN/FT.			105.7		1268.4		8.81		7.05	
					CONTINUOUS					0		0.00	-	0.00	
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						4:12 SLOPE MATCH (E)	NUOUS	N .							
					I.		RIDGE								
					EAV	/E VENT: 22.4 LF	EVENT								
							CONTINUOUS RIDGE VENT: 11.4 -		/	/					4:12 SLOPE MATCH (E)
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										CONTINUOUS RIDGE VENT: 11.3 LF		EAVE VENT:	7.8 LF -	~	
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						TYP.	H		NT. 12.5 L	S RIDG		T			$\left  \right $
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								Ĭ	4:12	T: 11.3 LF	01			<sup>*</sup>	- 1-
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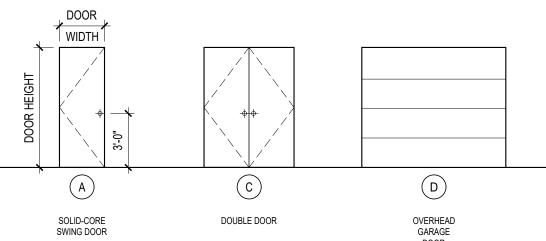




## **CRAWLSPACE DIAGRAM**

SCALE: 1/8" = 1'-0"

#### DOOR TYPES:



			DOOF	2				
DOOF	R SCHEDULE							
DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)	REMARKS
MAIN FLO	DOR							
101	BONUS/OFFICE	2' - 6"	6' - 8"	A		1-3/4"		
102	BONUS/OFFICE CLOSET	5' - 0"	6' - 8"	В		1-3/4"		
103	LAUNDRY	2' - 10"	6' - 8"	A		1-3/4"		
104	MUDROOM	2' - 6"	6' - 8"	A		1-3/4"		
105	UNDER STAIR CLOSET	2' - 6"	6' - 8"	A		1-3/4"		
106	MUDROOM	2' - 10"	6' - 8"	A		1-3/4"		20 MIN FIRE RATED DOOR
107	EXERCISE	2' - 6"	6' - 8"	A		1-3/4"		
108	GARAGE	9' - 0"	8' - 0"	С		1-3/4"		
109	GARAGE	9' - 0"	8' - 0"	С		1-3/4"		
110	MECHANICAL	2' - 10"	6' - 8"	A		1-3/4"		
UPPER F	LOOR							
201	BED 3	2' - 6"	7' - 0"	A		1-3/4"		
202	BED 3 CLOSET	4' - 0"	7' - 0"	A		1-3/4"		
203	BATH 2	2' - 6"	7' - 0"	A		1-3/4"		
204	BATH 2	2' - 6"	7' - 0"	А		1-3/4"		
205	BATH 2	2' - 6"	7' - 0"	A		1-3/4"		
206	BED 4 CLOSET	2' - 6"	7' - 0"	В		1-3/4"		
207	BED 4 CLOSET	2' - 6"	7' - 0"	В		1-3/4"		
208	BED 4	2' - 6"	7' - 0"	A		1-3/4"		
L		•						



# MAIN FLOOR

SCALE: 1/8" = 1'-0"

#### PROPOSED GROSS FLOOR AREA

	PROPOSED FLOOR AREA
MAIN FLOOR	2,011.5 SF
UPPER FLOOR	1,852.2 SF
GARAGE	668.9 SF
16'-0" + CEILING HEIGHT	195.0 SF
TOTAL	4,727.6 SF

LOT SIZE GFA THRESHOLD	=	
PROPOSED GFA	=	

12,800 SF = 5,000 SF PROPOSED GFA = 5,080.4 SF PROPOSED %GFA COVERAGE = 30.8%

PROPOSED GFA IS 5,080.4 SF OR 30.8%

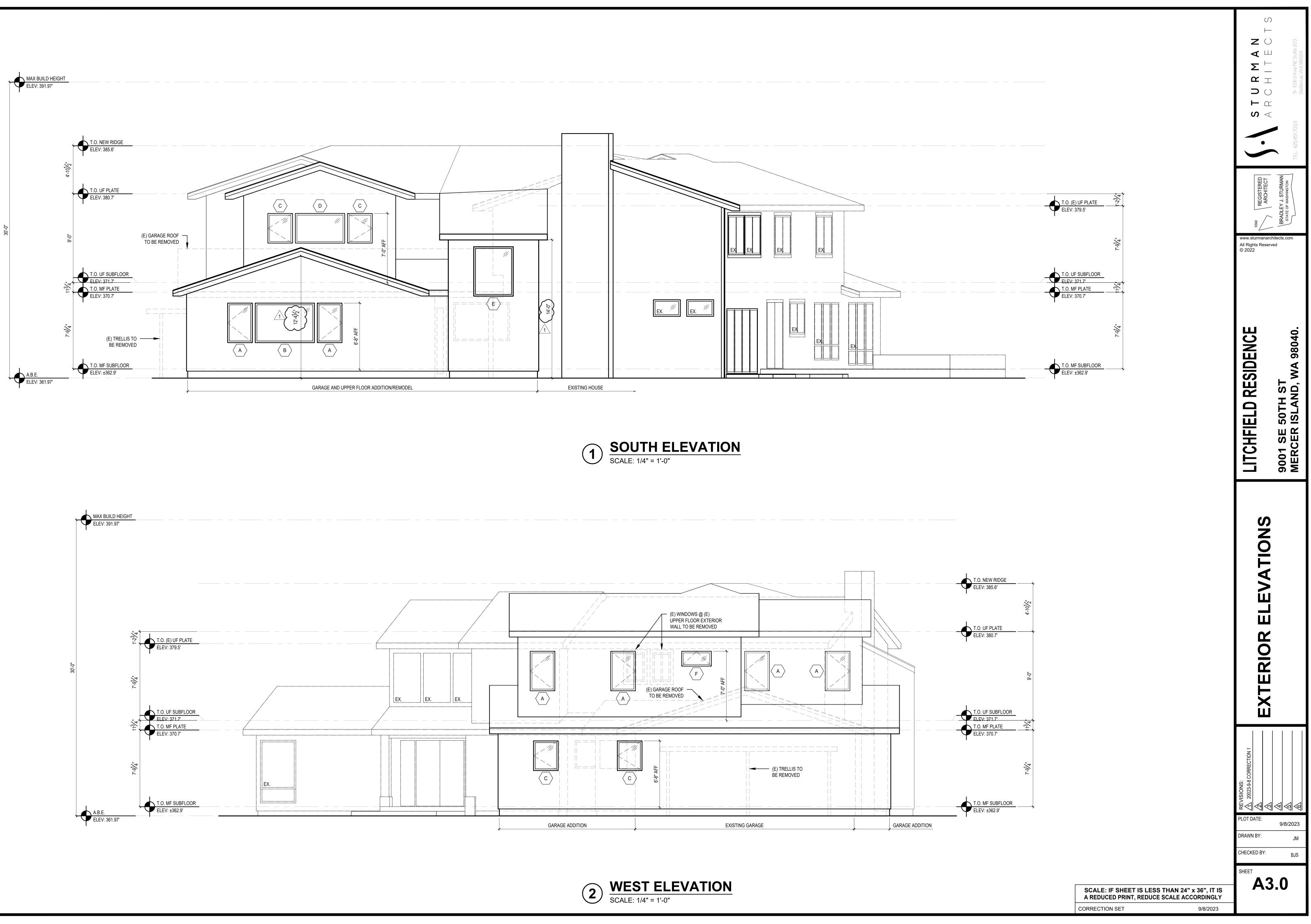
WINDOW	SCHEDULE								
TAG.	DESCRIPTION	WINDO	OW SIZE	TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	CASEMENT	2' - 6"	4' - 0"		6	60	0.28	LOW E / CLEAR	EGRESS IN SOME LOCATIONS
В	FIXED	6' - 0"	4' - 0"		1	24	0.28	LOW E / CLEAR	
С	CASEMENT	2' - 6"	3' - 0"		4	30	0.28	LOW E / CLEAR	
D	FIXED	5' - 0"	3' - 0"		2	30	0.28	LOW E / CLEAR	
E	FIXED	4' - 0"	5' - 0"		1	20	0.28	LOW E / CLEAR	
F	AWNING	3' - 0"	1' - 6"	Y	1	4.5	0.28	LOW E / CLEAR	
G	CASEMENT	2' - 0"	4' - 0"		4	32	0.28	LOW E / CLEAR	
H1	FIXED	3' - 0"	4' - 0"		1	12	0.28	LOW E / CLEAR	
H1	CASEMENT	3' - 0"	4' - 0"		1	12	0.28	LOW E / CLEAR	EGRESS
I	SKYLIGHT	2' - 0"	4' - 0"		2	16	0.5	LOW E / CLEAR	

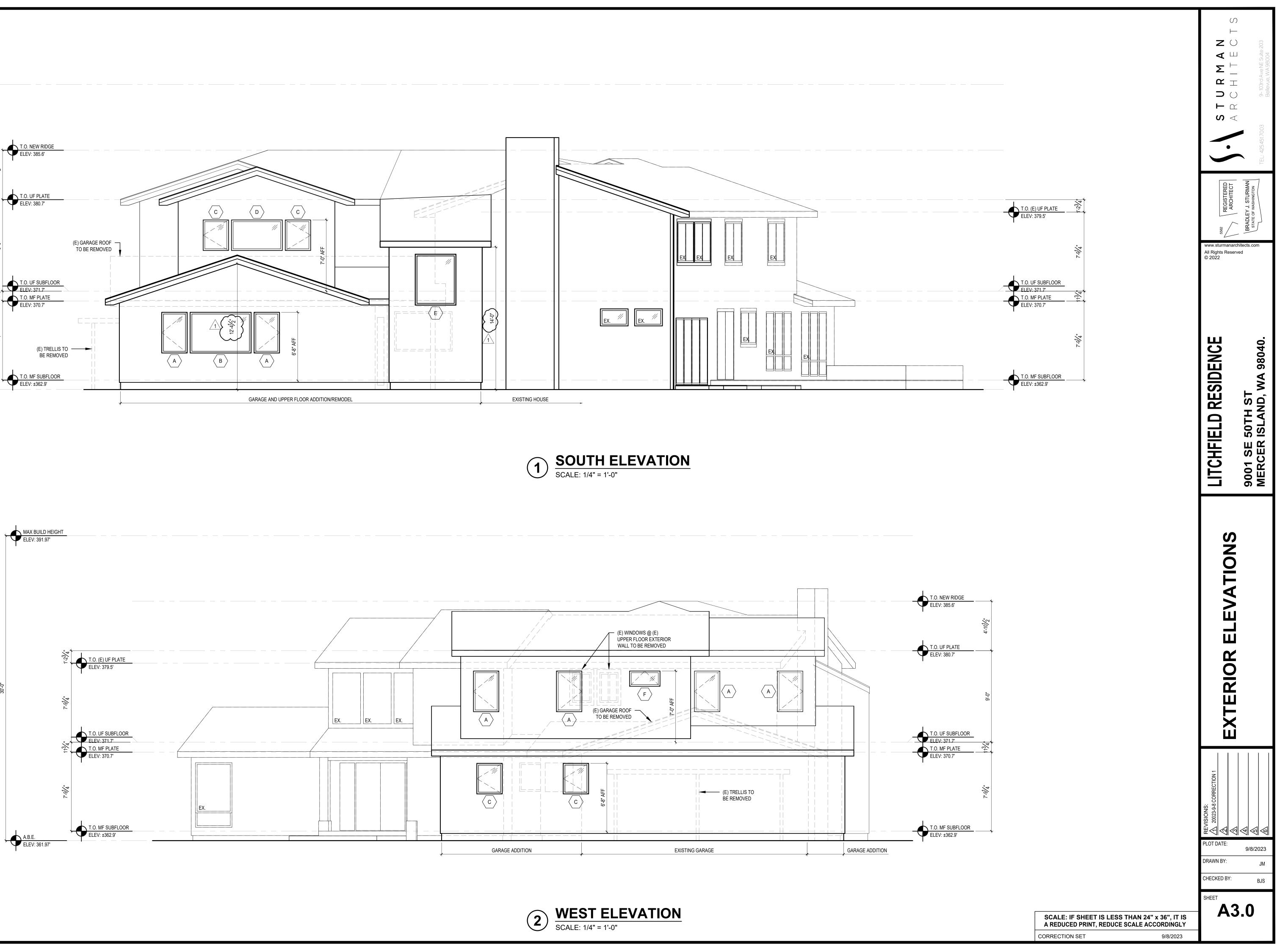
**UPPER FLOOR** 

SCALE: 1/8" = 1'-0"

LITCHFIELD RESIDENCE	E 9001 SE 50TH ST MERCER ISLAND, WA 98040.
FAR DIAGRAM CRAWLSPACE VENT PLAN	DOOR/WINDOW SCHEDULI
REVISIONS: 20023-9-8 CORRECTION 1 20023-9-8 CORRECTION 1 20023-0-8 CORRECTI	<u>क</u> ह

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY CORRECTION SET 9/8/2023



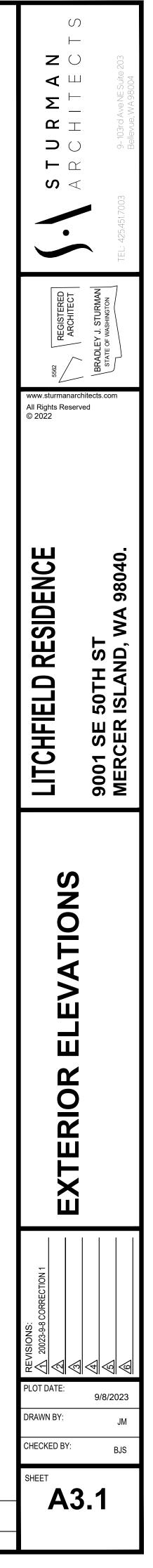




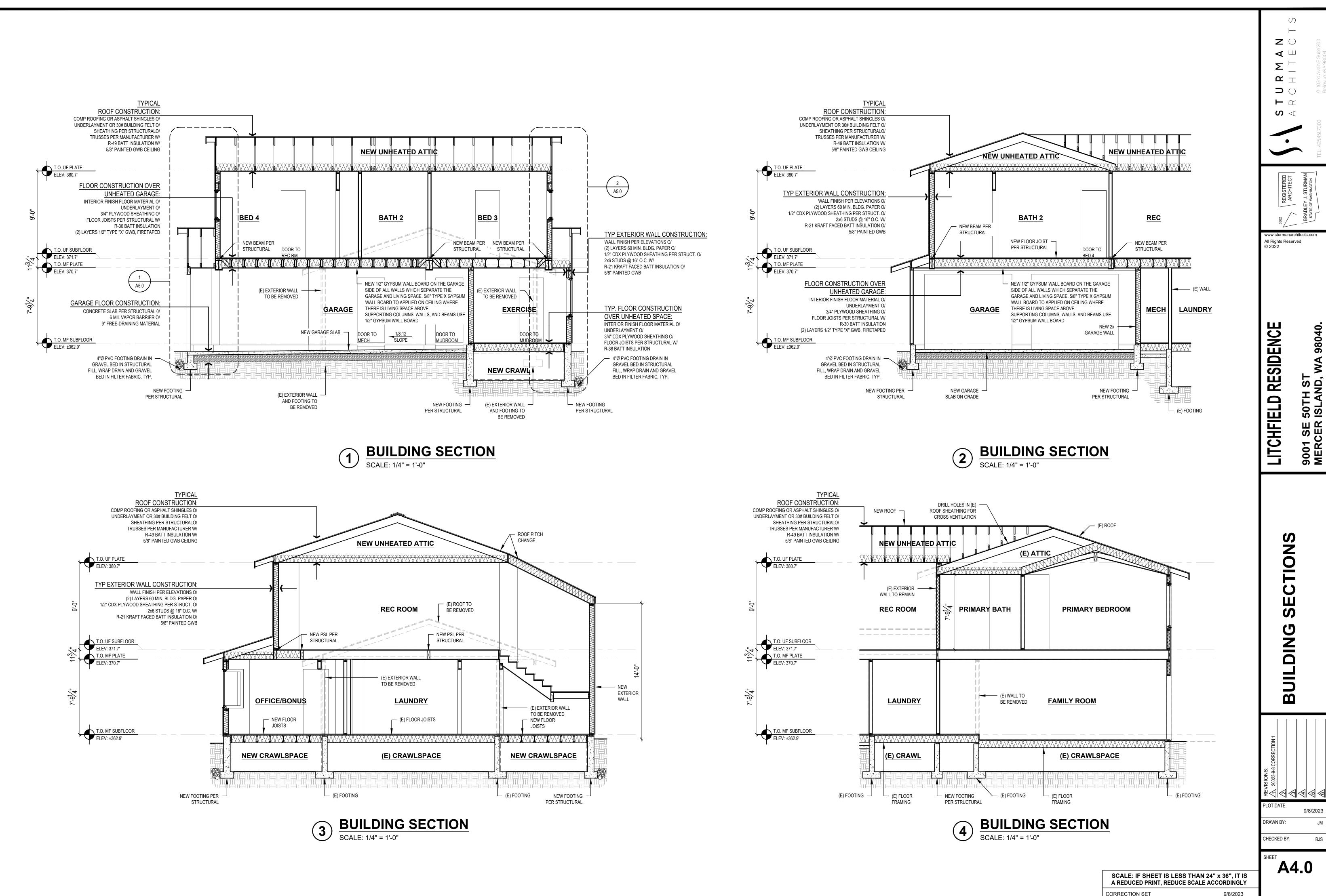








SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS<br/>A REDUCED PRINT, REDUCE SCALE ACCORDINGLYCORRECTION SET9/8/2023



 PREFABRICATED ROOF TRUSS PER MANUFACTURER
 R-49 BATT INSULATION
 4x8 HEADER PER
STRUCTURAL
 WINDOW PER SCHEDULE

ROOF MATERIAL PER ELEVATIONS O/ -EPDM WATERPROOF MEMBRANE O/ PLYWOOD SHEATHING O/ ROOF JOISTS PER STRUCTURAL

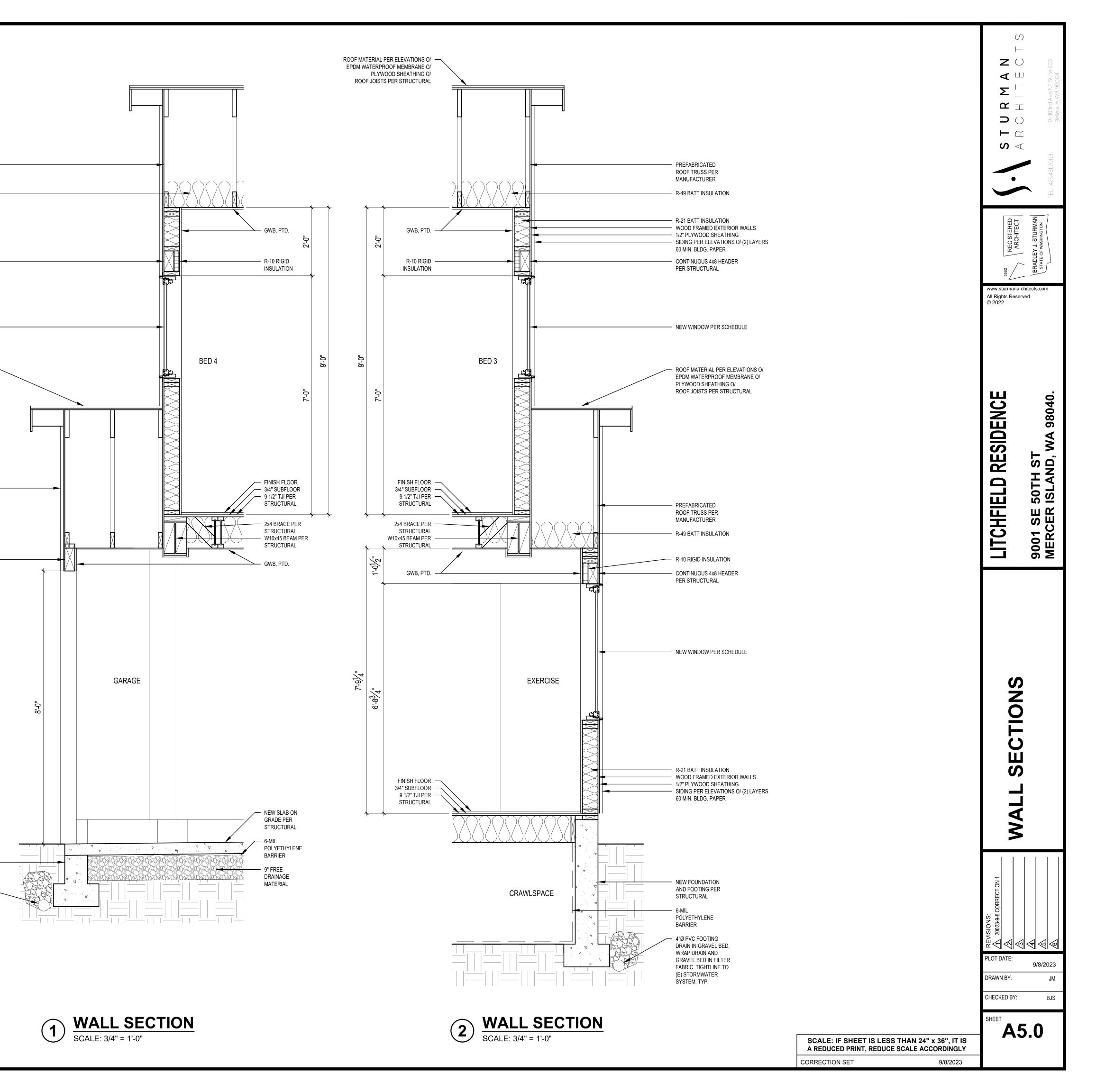
> PREFABRICATED ROOF TRUSS PER MANUFACTURER

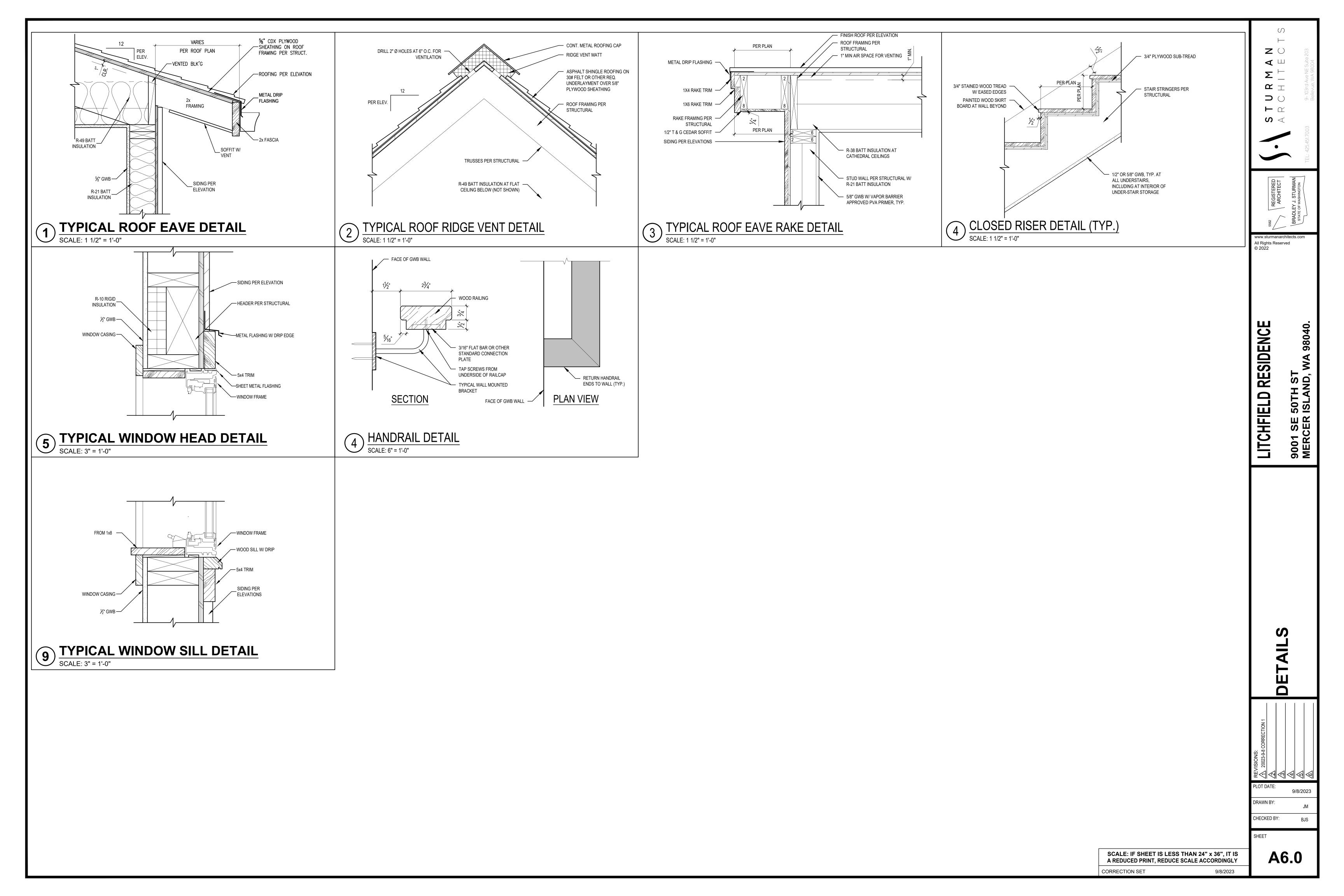
> 3 1/2" x 9 1/2" PSL PER STRUCTURAL

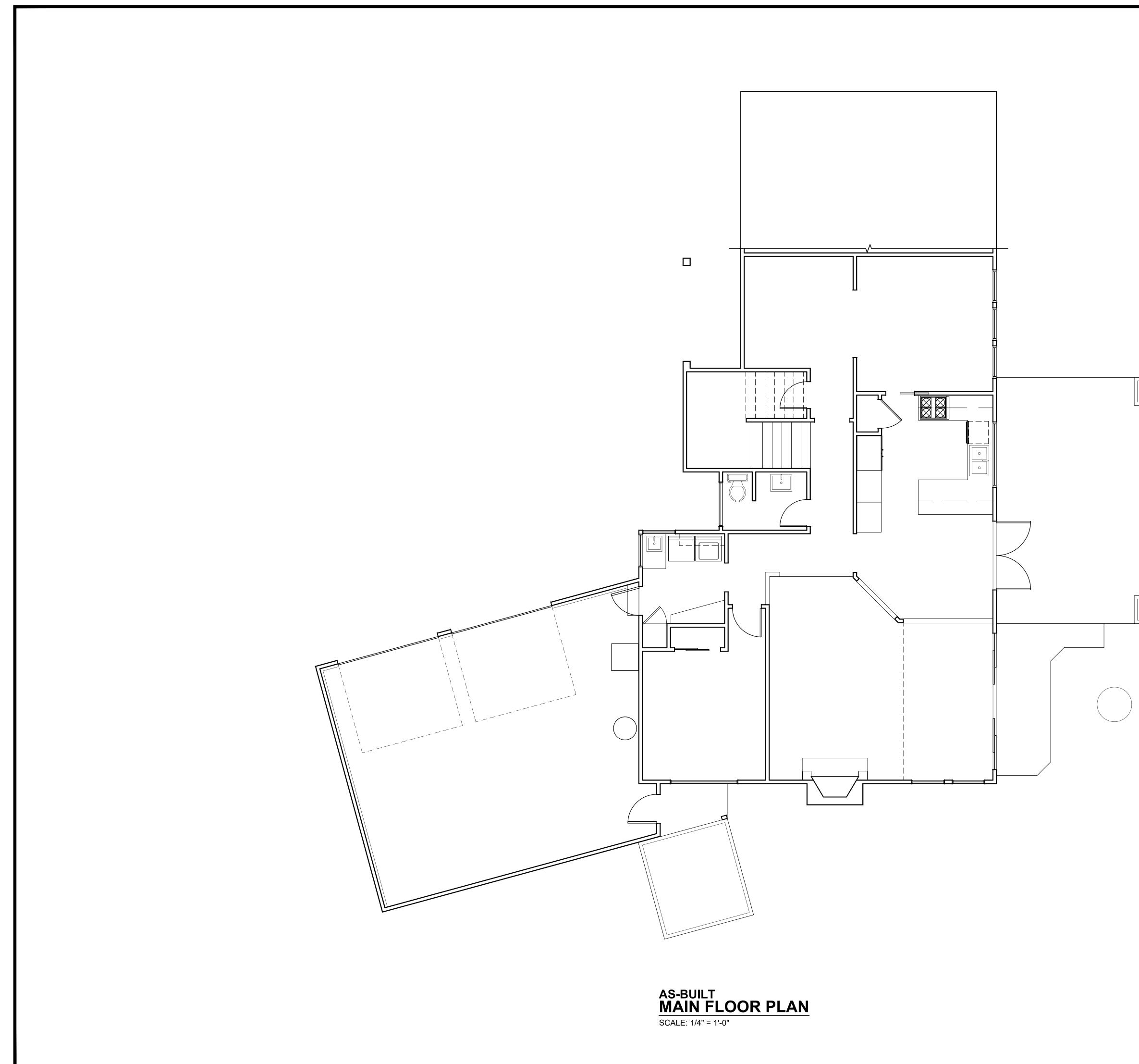
NEW FOUNDATION -AND FOOTING PER STRUCTURAL

4"Ø PVC FOOTING

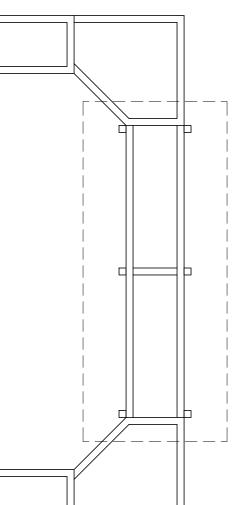
DRAIN IN GRAVEL BED, WRAP DRAIN AND GRAVEL BED IN FILTER FABRIC. TIGHTLINE TO (E) STORMWATER SYSTEM, TYP.



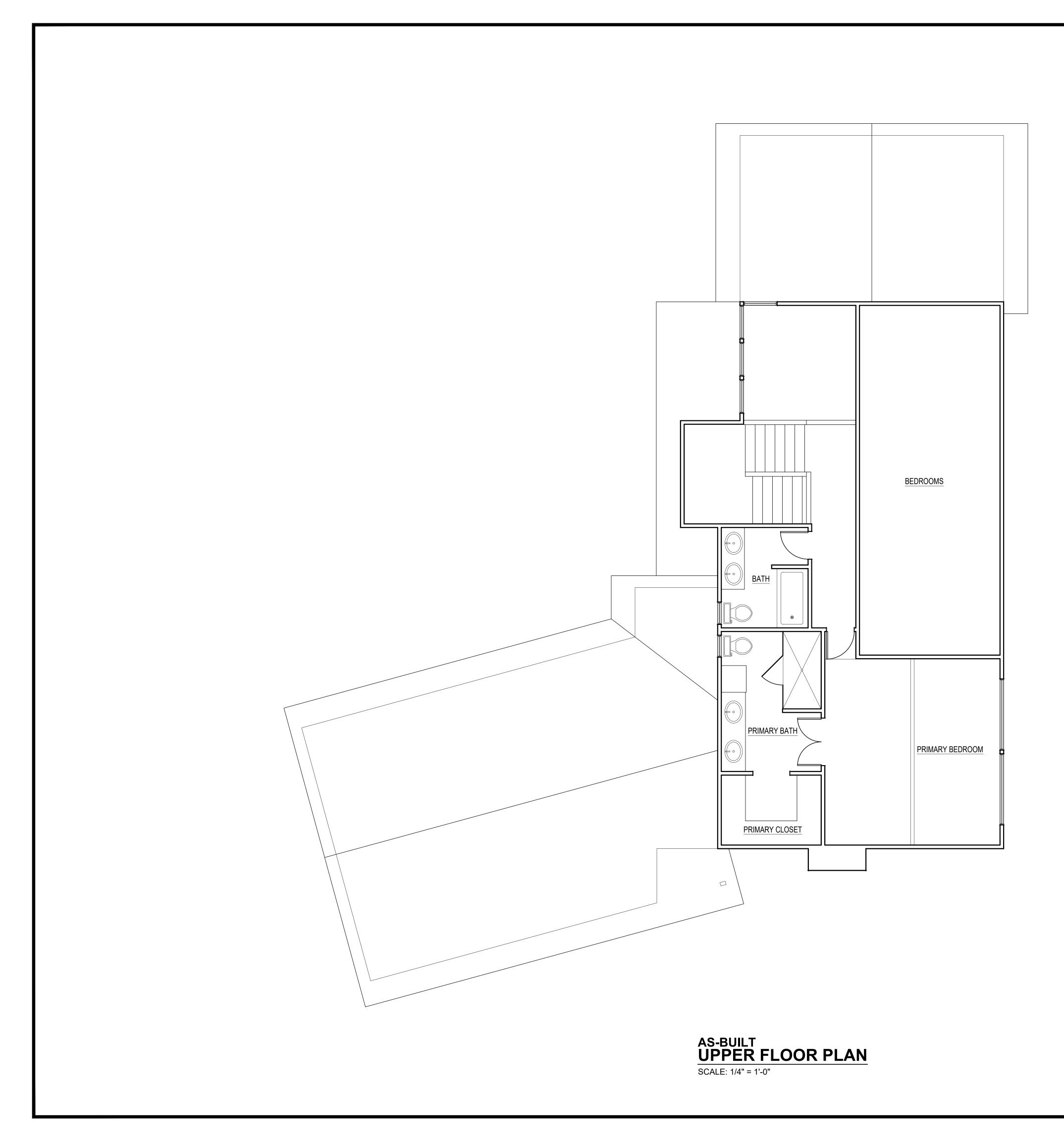




A	DRAWN BY: CHECKED BY: SHEET	A CORRECTION 1 A 20023-9-8 CORRECTION 1 A 20023-9-8 CORRECTION 1 A 20023-9-8 CORRECTION 1	AS-BUILT MAIN FLOOR PLAN	All Rights Rese © 2022	S562 ARCHITECT	NAMAUTAN	M A N T T T
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SCALE: IF SHEET IS LESS THA A REDUCED PRINT, REDUCE SCAL	•
CORRECTION SET	9/8/2023



SHEET	DRAWN BY: CHECKED BY:	REVISIONS: 20023-9-8 CORRECTION 1 20123-9-8 CORRECTION 1	AS-BUILT	All Rights Res © 2022		S T C	Σ ( Σ Σ Γ
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SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS<br/>A REDUCED PRINT, REDUCE SCALE ACCORDINGLYCORRECTION SET9/8/2023

# LITCHFIELD RESIDENCE S221118-2



ONGITU

## **PROJECT INFORMATION**

CLIENT LAWRENCE AND CATHERINE LITCHFIELD

> PROJECT ADDRESS 9001 SE 50TH ST MERCER ISLAND, WA 98040

ARCHITECT STURMAN ARCHITECTS, INC 9-103RD AVE NE, SUITE 203 BELLEVUE, WA 98004 PHONE: (425)-451-7003 CONTACT: BRAD STURMAN

STRUCTURAL ENGINEER L120 ENGINEERING & DESIGN 13150 91ST PL NE KIRKLAND, WA 98034 PHONE: (425) 636-3313 EMAIL: MTHURFJELL@L120ENGINEERING.COM CONTACT: MANS THURFJELL, PE

REVISIONS

🛆 DESCRIPTION DATE BY

-

PROJECT NAME

## LITCHFIELD RESIDENCE

9001 SE 50TH ST MERCER ISLAND, WA 98040

PROJECT NUMBER

S221118-2

DRAWN BY -BS

CHECKED BY - MRT

SHEET DATE - 02/17/2023

SCALE

24X36 SHEET:1/4"=1'-0"

SHEE

OVER

S-0

FIRST FLOOR FRAMING PLAN...S-3 FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-4

SECOND FLOOR FRAMING PLAN...S-5 SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-6

ROOF FRAMING PLAN...S-7

STRUCTURAL DETAILS...SD-1 STRUCTURAL DETAILS...SD-2

SHEET INDEX

FOUNDATION PLAN...S-2

STRUCTURAL GENERAL NOTES...S-1

COVER SHEET...S-0

CODES

ENGINEERED PER:

2018 (IRC) INTERNATIONAL RESIDENTIAL CODE

2018 (IBC) INTERNATIONAL BUILDING CODE

# **GENERAL STRUCTURAL NOTES**

#### DESIGN CRITERIA

CODE: 2018 IBC/IRC & AMENDMENTS AS ADOPTED BY THE REVIEWING AGENCY/COUNTY. ROOF ... .25 PSF SNOW (GROUND)

#### FLOORS RESIDENTIAL. .40 PSF

BALCONY	/DECK	60 PSF

BASIC WIND SPEED .100 MPH, EXPOSURE B, KZT = 1.6 SEISMIC

MAPPED SPECTRAL ACCELERATION, Ss	<u>1.6</u>
MAPPED SPECTRAL ACCELERATION, S1	<u>0.63</u>
SOIL SITE CLASS	D

GENERAL CONDITIONS

- 1. THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/ENGINEER SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES
- 3. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- 4. IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE "GENERAL NOTES" AND/OR "STANDARD DETAILS".
- 5. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
- 6. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THESE DRAWINGS.
- 7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.
- 8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION.
- 9. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK
- 10. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 11. REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS.
- 12. NOTIFY ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
- 13. DISCREPANCIES FOUND BETWEEN STRUCTURAL DRAWINGS AND OTHER DOCUMENTS ARE TO BE NOTED IN WRITING TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 14. ALL CONSTRUCTION SHALL BE DONE WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY IN CONFORMANCE TO THE PROVISIONS OF THE "INTERNATIONAL BUILDING CODE" (IBC), AND STANDARDS REFERENCED THEREIN.

#### FOUNDATION

- 1. FOUNDATION DESIGN PARAMETERS ASSUMED PER IRC/IBC VALUES:
  - FOOTING BEARING PRESSURE: 1500 PSF
  - LATERAL EARTH PRESSURE:
  - ACTIVE: 35 PCF (FREE) 50 PCF (RESTRAINED) PASSIVE: 250 PCF
  - COEFFICIENT OF BASE FRICTION: 0.35
- 2. SUBGRADE PREPARATION, DRAINAGE PROVISIONS, AND OTHER RELEVANT SOIL CONSIDERATIONS ARE 7. TO BE IN ACCORDANCE WITH THE JURISDICTIONAL REQUIREMENTS.
- 3. ALL FOUNDATIONS ARE TO BEAR ON COMPETENT NATIVE SOILS OR STRUCTURAL FILL. STRUCTURAL FILL 8. IS TO BE COMPACTED TO 95% DENSITY PER ASTM D-1557.

#### CONCRETE

- 1. REFERENCE STANDARDS: ACI-301, ACI-318, IBC.
- MINIMUM CONCRETE STRENGTH (28 DAYS):
- FOOTINGS AND STEM WALLS......2,500 PSI 5 SACK MIX
- BASEMENT FOUNDATION RETAINING WALLS......2,500 PSI 5.5 SACK MIX
- SLAB-ON-GRADE......2,500 PSI 5 SACK MIX
- AIR-ENTRAINMENT 2.5% TO 5.5% FOR EXPOSED CONCRETE
- 2. MIXING: COMPLY WITH ACI-301. DO NOT EXCEED THE AMOUNT OF WATER SPECIFIED IN THE APPROVED MIX. PROPORTIONS OF AGGREGATE TO CEMENT SHALL BE SUCH AS TO PRODUCE A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER
- 3. PLACING: COMPLY WITH ACI-301. PROVIDE A 3/4 INCH CHAMFER ALL EXPOSED CONCRETE EDGES, UNLESS INDICATED OTHERWISE ON ARCHITECTURAL DRAWINGS.
- 4. SLUMP: 4" PLUS OR MINUS ONE INCH. DO NOT ADD WATER TO MIX TO INCREASE SLUMP. GREATER SLUMP, ACCELERATED SET, OR HIGH EARLY STRENGTH MAY BE ACHIEVED BY USING APPROVED ADMIXTURES.
- 5. CURING: COMPLY WITH ACI-301. KEEP CONCRETE MOIST FOR SEVEN DAYS MINIMUM.
- 6. JOINTING: PROVIDE ADEQUATE JOINTING TO MINIMIZE EFFECTS OF VOLUME CHANGE. JOINTS SHOWN MAY BE ADJUSTED AT CONTRACTOR'S OPTION, WITH PRIOR APPROVAL FROM ENGINEER
- 7. WEATHER EXTREMES: COMPLY WITH ACI 305R FOR HOT WEATHER. COMPLY WITH ACI 306R FOR COLD WEATHER.
- 8. WATER/CEMENT RATIO SHALL NOT EXCEED 0.50 (BY WEIGHT), TYPICAL

REINFORCING STEEL

- (MSP-1)
- 2. MATERIALS:
- REINFORCING STEEL: ASTM A615, GRADE 60 3. SPLICES:
- CORNER BARS FOR ALL HORIZONTAL REINFORCEMENT 4. COVER:
- SLABS.... .....2 INCHES
- 5. FORMED SURFACES:
  - WEATHER FACE ...1-1/2 INCHES, #5 BARS AND SMALLER 2 INCHES, # 6 BARS AND LARGER INTERIOR FACE ... 3/4 INCH FOR SLABS AND WALLS 1-1/2 INCHES FOR BEAMS AND COLUMNS

#### STRUCTURAL AND MISC. STEEL

- 2. MATERIALS:
  - BOLTS ASTM A307, UNLESS OTHERWISE NOTED WF BEAMS - ASTM A572-50 (Fy = 50,000 PSI) HSS ROUND COLUMNS - ASTM A500 Gr. B (Fy = 42,000 PSI) HSS RECTANGULAR COLUMNS - ASTM A500 Gr. B (Fy = 46,000 PSI) ALL OTHER STEEL - ASTM A36 (Fy = 36,000 PSI)
- STRUCTURAL STEEL WELDING
- SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES.

#### DIMENSIONAL LUMBER

2

MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD DIMENSIONAL LUMBER. BEAR STAMP OF WWPA

MINIMUM DIMENSIONAL	LUMBER GRADES TO BE:
WALL STUDS:	2x, HF STUD GRAD
WALL PLATES:	2x HF STANDARD
	2x, 3x PRESSURE
JOISTS:	2x6 HF STUD GRA
	2x8 AND UP HF #2
BEAMS, HEADERS:	6x DF#2; 4x DF#2
POSTS:	4x, 6x, DF #2
LUMBER NOT NOTE	D TO BE HF #2.

- GALVANIZED SQUARE PLATE WASHERS FOR ALL ANCHOR BOLTS.
- 4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY, WHICH IS IN CONTACT WITH OR RESTING PRESSURE TREATED WOOD MEMBERS SHALL COMPLY WITH AWP4 U1 AND AWP4 M4 STANDARDS.
- 5. CAST-IN-PLACE ANCHOR BOLTS SHALL HAVE A MINIMUM 7" EMBEDMENT. ALTERNATE 5/8"Ø EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT II ANCHORS EMBED 7", OR APPROVED ALTERNATE.
- 6. BOLTS IN WOOD BEAMS SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.
- NAILS: NAILING IN ACCORDANCE WITH IBC TABLE 2304.10.1. 16D NAILS MAY BE 16D SINKERS (0.148 x 3-1/4") UNLESS NOTED OTHERWISE
- HANGERS)

#### MANUFACTURED TIMBER

PRODUCT	APPLICATION	<b>WIDTHS</b>
LSL RIMBOARD (1.3E)	RIMBOARD OR STAIR STRINGER	1 ¼"
TIMBERSTRAND LSL (1.3E)	HEADER, BEAM, OR COLUMN < 9" DEPTH	3 1⁄2"
TIMBERSTRAND LSL (1.55E)	RIMBOARD, HEADER, OR < 9" DEPTH BEAM	1 ¾",3 ½"
TIMBERSTRAND LSL (1.3E)	WALL STUD 2X4 & 2X61	1⁄2"
(1.5E)	WALL STUD > 2X6	1 1⁄2"
MICROLLAM LVL (1.9E)	HEADER, BEAM	1 3⁄4"
PARALLAM PSL (2.2E)	HEADER, BEAM	3 ½", 5 ¼", 7"
PARALLAM PSL (1.8E)	COLUMN	3 ½", 5 ¼", 7"

WOOD STRUCTURAL CONNECTIONS

SIMPSON STRONG-TIE COMPANY OR ENGINEER APPROVED EQUAL.

1. REFERENCE STANDARDS: ACI "DETAILING MANUAL" (SP-66); CRSI MANUAL OF STANDARD PRACTICE

LAP CONTINUOUS REINFORCING BARS 48 BAR DIAMETERS, UNLESS OTHERWISE NOTED. PROVIDE

REFERENCE STANDARDS: DESIGN, FABRICATION AND ERECTION ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

CONFORM TO THE AWS CODES D1.1 AND D1.3. ALL WELDING TO BE DONE ONLY BY WABO CERTIFIED WELDERS AND HAVE SPECIAL INSPECTION BY WABO CERTIFIED INSPECTION AGENCY OR BE DONE BY WABO CERTIFIED FABRICATION SHOP. EITHER SPECIAL INSPECTION REPORT OR WABO FABRICATION SHOP CERTIFICATION SHOULD BE AVAILABLE ON SITE FOR THE BUILDING INSPECTOR. WELDS NOT

- ADE, 3x HF #2
- GRADE

TREATED HF STANDARD GRADE AT FOUNDATION DE

2, WWPA GRADING

PROVIDE STANDARD CUT WASHERS FOR NUTS BEARING AGAINST WOOD, AND 1/4"x3" HOT-DIPPED

ON FOUNDATIONS, SHALL BE PRESSURE TREATED HEM FIR OR BETTER. ALL BEARING WALL PLATES SHALL HAVE 5/8"Ø ANCHOR BOLTS PLACED A MAXIMUM 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" O.C. SPACING). ALL TREATED

PRESURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM 2. SOIL: A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED

GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 oz OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL. SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED

ALL FRAMING ANCHORS, POST CAPS, BASES, HANGERS, STRAPS, ETC., SHALL BE AS MANUFACTURED BY

BRICK VENEER ANCHORAGE

- 1. D/A 2135 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT WOOD STUD WALL
- D/A 5213 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT CONCRETE WALL
- 3. PLACE ANCHORS AT 16" O.C. VERTICAL AND 16" HORIZONTAL. PROVIDE #9 GA HORIZONTAL JOINT REINFORCING WIRE . ATTACH TO WOOD STUDS WITH #8 CORROSION RESISTANT SCREWS AND TO CONCRETE WITH 1/4"Ø EXPANSION ANCHORS.
- 4. AT ALL OPENINGS LARGER THAN 16" IN EITHER DIRECTION, ANCHORS TO BE SPACED WITHIN 12" OF THE OPENING AT ALL SIDES.
- 5. USE TYPE N MORTAR COMPLYING WITH ASTM C270

#### GLU-LAMINATED TIMBER

- 1. GLU-LAMINATED WOOD BEAMS, DOUGLAS FIR COAST REGION, KILN DRIED, AITC SPECIFICATION 24F-V4 FOR SIMPLE SPANS (TYPICAL), AND 24F-V8 FOR CANTILEVER-SPANS (WHERE SPECIFIED). PROVIDE AITC STAMP ON TIMBER AND SUBMIT CERTIFICATE TO ARCHITECT AND ENGINEER. MATERIALS MUST BE OBTAINED FROM AN AITC APPROVED FABRICATOR. ALL GLU-LAM BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED. NO SUBSTITUTION OF OTHER SPECIES, GLU-LAM ADHESIVE TO BE "WET- USE" TYPE, PROVIDE 2000 FT RADIUS CAMBER, U.N.O.
- MANUFACTURER'S CERTIFICATE SHALL BE PRESENTED TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

#### WOOD SHEATHING

- ROOF SHEATHING: 7/16" MINIMUM THICKNESS APA RATED PRP-108 PERFORMANCE STANDARD, EDGE SEALED PANELS DESIGNED TO SPAN 24 INCHES EITHER PARALLEL OR PERPENDICULAR TO LONG AXIS OF PANEL WITH 35 PSF LIVE LOAD. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES ON CENTER ALONG EDGES, AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS, U.N.O. PROVIDE EXP-1 RATING.
- FLOOR SHEATHING: 3/4" NOMINAL APA RATED PANELS, PRP-108 PERFORMANCE STANDARD, NAILED AND GLUED. CONFORM TO IBC IDENTIFICATION INDEX 40/20 FOR SUPPORTS TO 20 INCHES ON CENTER. ADHESIVES ARE TO CONFORM TO APA SPECIFICATION AFG-01. PROVIDE T&G EDGES AT LONG PANEL EDGES. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES ON CENTER AT END SUPPORTS AND 10 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS. PROVIDE EXP-1 RATING.
- 3. WOOD SHEARWALL SHEATHING: PLYWOOD OR OSB APA RATED PRP-108 PERFORMANCE STANDARD PER IBC STD 23-2 OR 23-3 TYPE C-C OR C-D. USE EXTERIOR ADHESIVES. USE 8d COMMON NAILS. PROVIDE EXP-1 RATING. ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING. REFER TO SHEAR WALL SCHEDULE FOR PANEL THICKNESS.
- 4. NAILING SPECIFICATIONS: CONFORM TO IBC SECTION 2304.10 "CONNECTIONS AND FASTENERS." UNO ON PLANS, NAILING PER TABLE 2304.10.1, AND FOR ROOF/FLOOR DIAPHRAGMS AND SHEARWALLS SHALL BE PER DRAWINGS, NAILS SHALL BE DRIVEN FLUSH AND SHALL NOT FRACTURE THE SURFACE OF SHEATHING. ALTERNATE NAILS MAY BE USED BUT ARE SUBJECT TO REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER. SUBSTITUTION OF STAPLES FOR THE NAILING OF RATED SHEATHING IS SUBJECT TO REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

#### SHOP DRAWINGS AND SUBMITTALS

1. SUBMIT 2 SETS OF PRINTS AND 1 SET OF REPRODUCIBLES FOR REVIEW FOR:

- C) GLU-LAMINATED BEAMS A) REINFORCING STEEL MISCELLANEOUS STEEL B) D) PRE-MANUFACTURED WOOD TRUSSES
- 2. SUBMIT 3 COPIES FOR REVIEW PRIOR TO FABRICATION FOR:
  - CONCRETE DESIGN MIX
- A)
- B) CONCRETE INSERTS
- C) EPOXY ADHESIVES

#### INSPECTIONS

- 1. REFERENCE STANDARDS: IBC 110.
- INSPECTIONS ARE TO BE PERFORMED BY THE BUILDING OFFICIAL. INSPECTIONS REQUIRED ARE AS FOLLOWS:
- VERIFY SUBGRADE IS DRY DENSE AND DOES NOT HAVE STANDING WATER PRIOR TO POURING FOOTINGS. 3. CONCRETE: INSPECTIONS REQUIRED ONLY FOR DESIGN MIXES SPECIFIED GREATER THAN 2500 PSI. TAKE CONCRETE CYLINDERS AS REQUIRED. VERIFY SLUMP AND STRENGTH. 4. REINFORCING: VERIFY ALL REINFORCING IS PLACED IN ACCORDANCE WITH APPROVED PLANS.
- CHECK FOR REQUIRED COVER, SIZE AND GRADE. 5. WOOD: DIAPHRAGM NAILING, BLOCKING AND HOLD-DOWN CONNECTIONS.

ALTERNATES:

1. ALTERNATE ASSEMBLIES AND MATERIALS WILL BE CONSIDERED FOR REVIEW. ENGINEER MAY REQUEST PAYMENT FOR REVIEW; CONTRACTOR WILL BEAR BURDEN FOR ADDITIONAL PAYMENT AT NO ADDITIONAL COST TO OWNER.

#### SETTLEMENT SHRINKAGE

1. DUE TO CROSS GRAIN WOOD SHRINKAGE, THIS BUILDING IS EXPECTED TO SETTLE APPROXIMATELY 3/8 INCH PER STORY. ALL PLUMBING AND MECHANICAL DUCTS SHALL BE DESIGNED WITH FLEXIBLE JOINTS OR OTHERS MEANS TO APPROPRIATELY ACCOMMODATE THIS NORMAL SETTLEMENT. ALL INTERIOR AND EXTERIOR SHEATHING AND FINISHES SHALL BE INSTALLED SUCH THAT NO DAMAGE WILL OCCUR. SHRINKAGE IS EXPECTED IN THE DEPTH OF THE FLOOR PLATES AND NOT IN THE LENGTH OF THE WALL STUDS.

THE ENGINEER AND/OR ARCHITECT HAVE NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ENGINEER AND/OR ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL, OR OCCUPANCY BY ANY PERSON.

GLB

GR

GYP

HDG

HDR

HF

HG1

1T

MAX

MIN

MISC

NB

NO

0C

PSF

PSI

PΤ

RAF

REF

REINF

REQD

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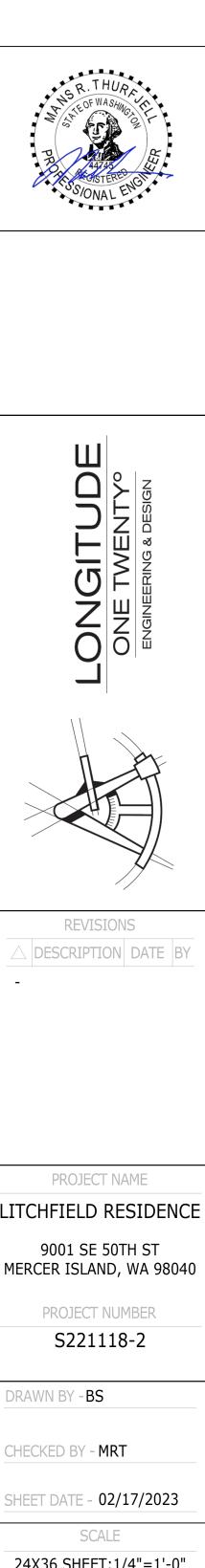


#### JOBSITE SAFETY:

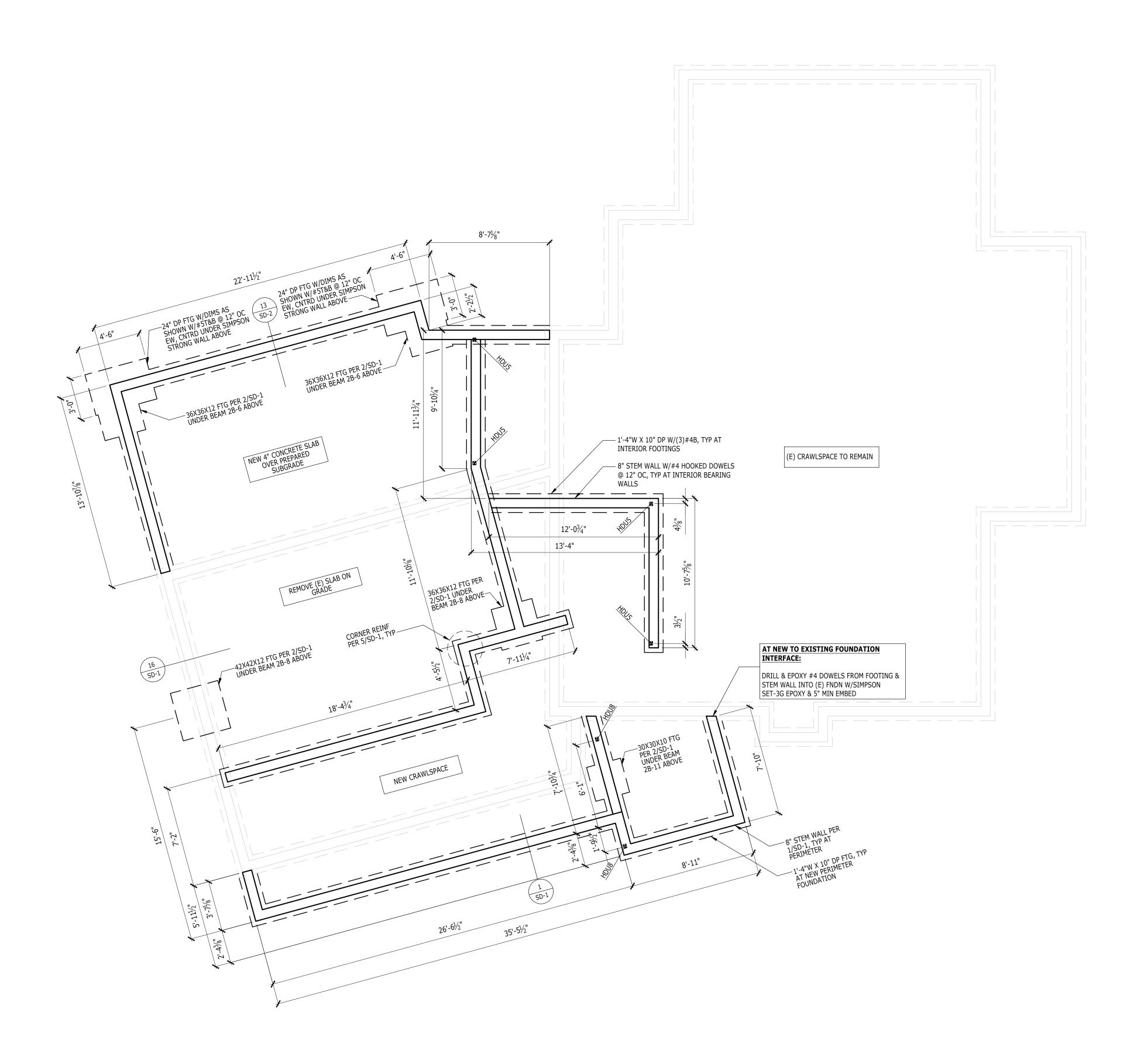
## ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
	-
AYC	ALASKAN YELLOW CEDAR
BB	BOX BEAM
BF	BOTTOM FLUSH
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BP	BOTTOM PLATE
BRG	BEARING
BTWN	BETWEEN
BSMT	BASEMENT
B/W	BOTTOM OF WALL
CANT	CANTILEVER
CJ	CONTROL JOINT
CLG.	CEILING
CLJ	CEILING JOIST
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CTR	CENTER
DET	DETAIL
DF	DOUGLAS FIR (SOUTH)
DFL	DOUGLAS FIR LARCH
DIM	DIMENSION
DJ	DOUBLE JOIST
DIA	DIAMETER
DN	DOWN
DS	DOWN SPOUT
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
ELEV	ELEVATION
EN	EDGE NAILING (PANEL)
EOR	ENGINEER OF RECORD
EQ	EQUAL
ES	EACH SIDE
EW	EACH WAY
FB	FLUSH BEAM
FIN	FINISH
FL	FLOOR
FLSHG	FLASHING
FLSTIG	FOUNDATION
FND FP	FIREPLACE
	-
FT	FOOT
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED

GLULAM BEAM GRADE GYPSUM WALL BOARD HOT-DIPPED GALVANIZED HEADER HEM FIR HEIGHT HEIGHT INCH JOINT MAXIMUM MINIMUM MISCELLANEOUS NON-BEARING NUMBER ON CENTER PLATE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED RAFTER REFERENCE REINFORCEMENT REQUIRED REQUIREMENTS SQUARE FOOT SHEATHING SIMILAR SPRUCE PINE FIR STANDARD SOUTHERN YELLOW PINE TOP OF TOP OF BEAM TOP OF CONCRETE TOP OF PLATE TOP OF SLAB TOP OF STEEL TOP OF WALL TOP FLUSH TRIPLE JOIST TOP PLATE THREADED ROD TYPICAL UNLESS NOTED OTHERWISE UNDER POST ABOVE UNDER WALL ABOVE VCB (V.C.B.) VERTICAL CRUSH BLOCKING VERTICAL VERIFY IN FIELD WITH WESTERN CEDAR WATERPROOF WELDED WIRE FABRIC







## **FOUNDATION NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 3. VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMODATE 3X SILL PLATE.
- 4. FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- 5. PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- 6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 7. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- CJ INDICATES CONTROL JOINT.
   FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS
- BY OTHERS. 11. EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
- 11. EXTERIOR STAIRS A 12. TYPICAL DETAILS:
- 1/SD-1 TYP STEMWALL
- 2/SD-1 TYP INTERIOR FOOTING
- 3/SD-1 TYP CRAWLSPACE VENT
- 4/SD-1 TYP FOOTING STEP
- 5/SD-1 TYP CORNER BARS REQ'T
- 7/SD-1 TYP CONSTRUCTION JOINT
- 8/SD-1 TYP BAR BEND AND HOOK DETAIL
- 9/SD-1 TYP STHD HOLDOWN INSTALLATION
- 10/SD-1 TYP STHD HOLDOWN SECTION
- 11/SD-1 TYP HOLDOWN INSTALLATION
- 12/SD-1 TYP PONY WALL DETAIL

HOLDOWN SCHEDULE									
MODEL	ANCHOR	EMBEDMENT	MIN END POST						
CS16/CS14	-	-	1-2X EA						
MST#	-	-	2-2X OR 3X						
STHD14/STHD14RJ	-	-	2-2X OR 3X						
HDU2	5/8" TR	12"	2-2X OR 3X						
HDU5	5/8" TR	12"	2-2X						
HDU8	7/8" TR	12"	3-2X						
HDU11	1" TR	12"	6X6						
HDU14	1" TR	15"	6X6						
HD19	1 1/4" TR	15"	6X6						

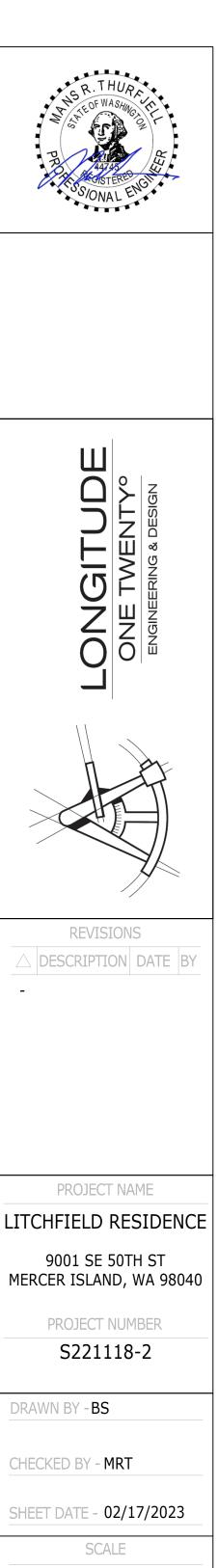
## FOUNDATION LEGEND

- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION

TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)

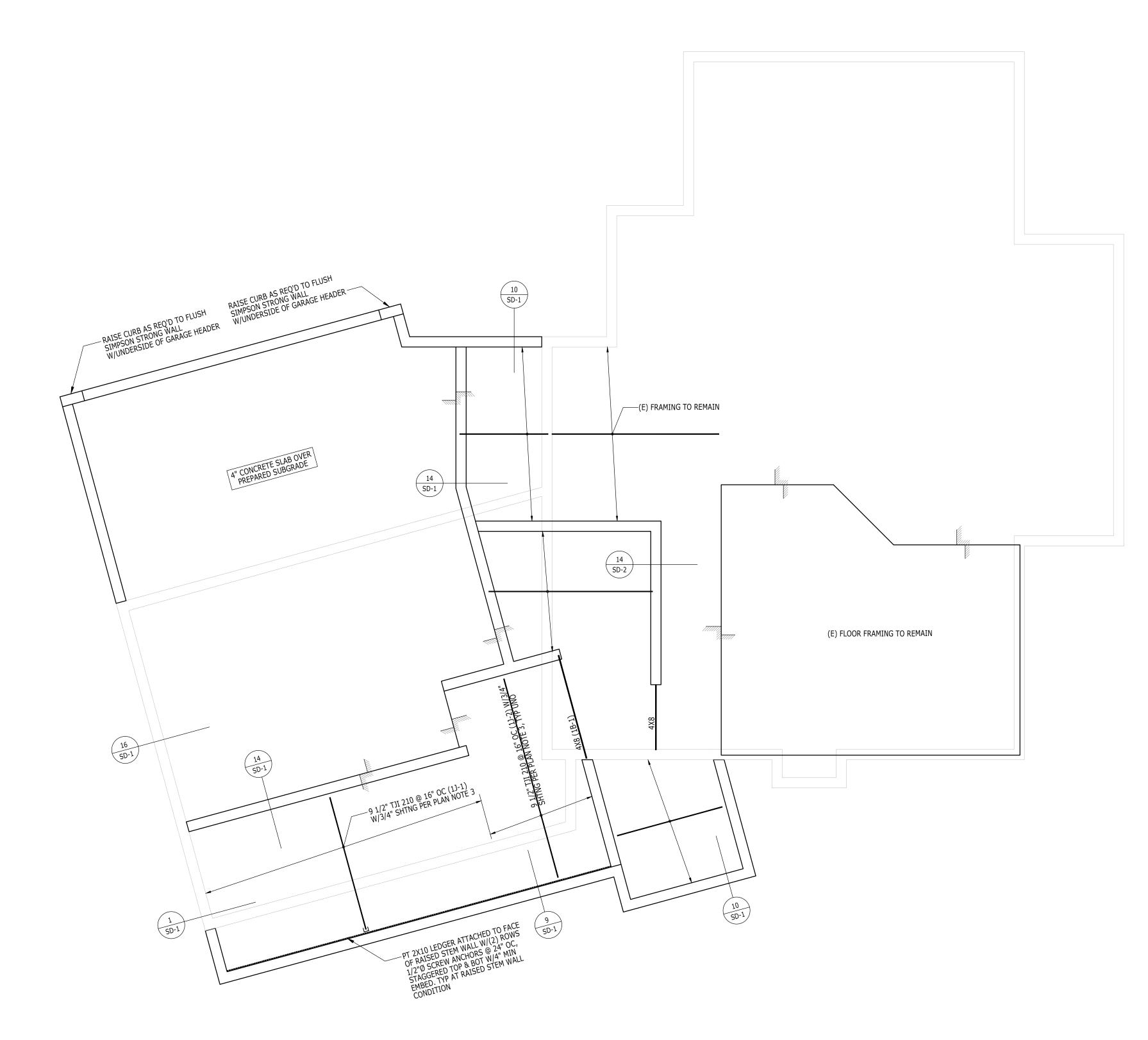
ETAMOIA -

- HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- FOOTING CENTERED ON POST (L X W X T)



- 24X36 SHEET:1/4"=1'-0"
  - FOUNDATION

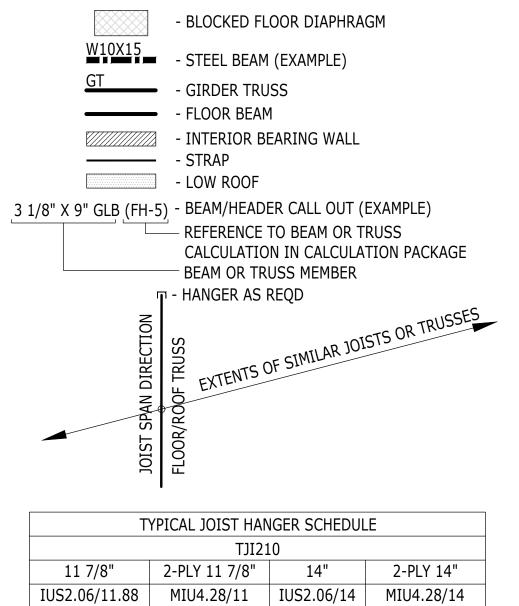
S-2



# **FLOOR FRAMING NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 6. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 14. TYPICAL DETAILS:
- 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
- 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG
   DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
- 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
   19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

## FRAMING LEGEND



2X10

TYPICAL BEAM HANGER SCHEDULE

LVL / LSL / PSL

11 7/8" HUS1.81/10 HHUS410 HGUS5.50/12 HGUS7.25/12

14" HUS1.81/10 HHUS410 HGUS5.50/14 HGUS7.25/14

1 3/4" 3 1/2" 5 1/4"

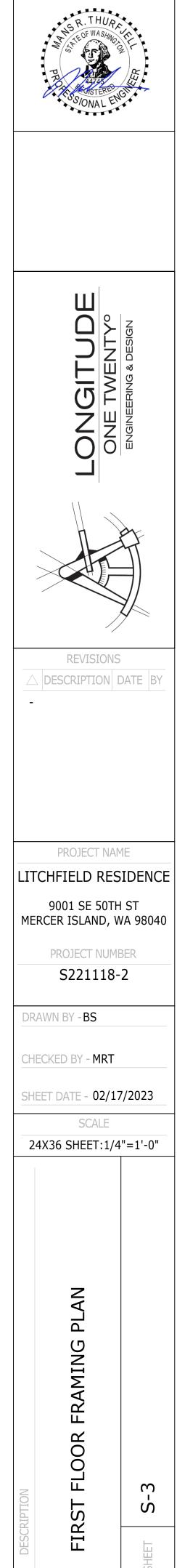
2-PLY

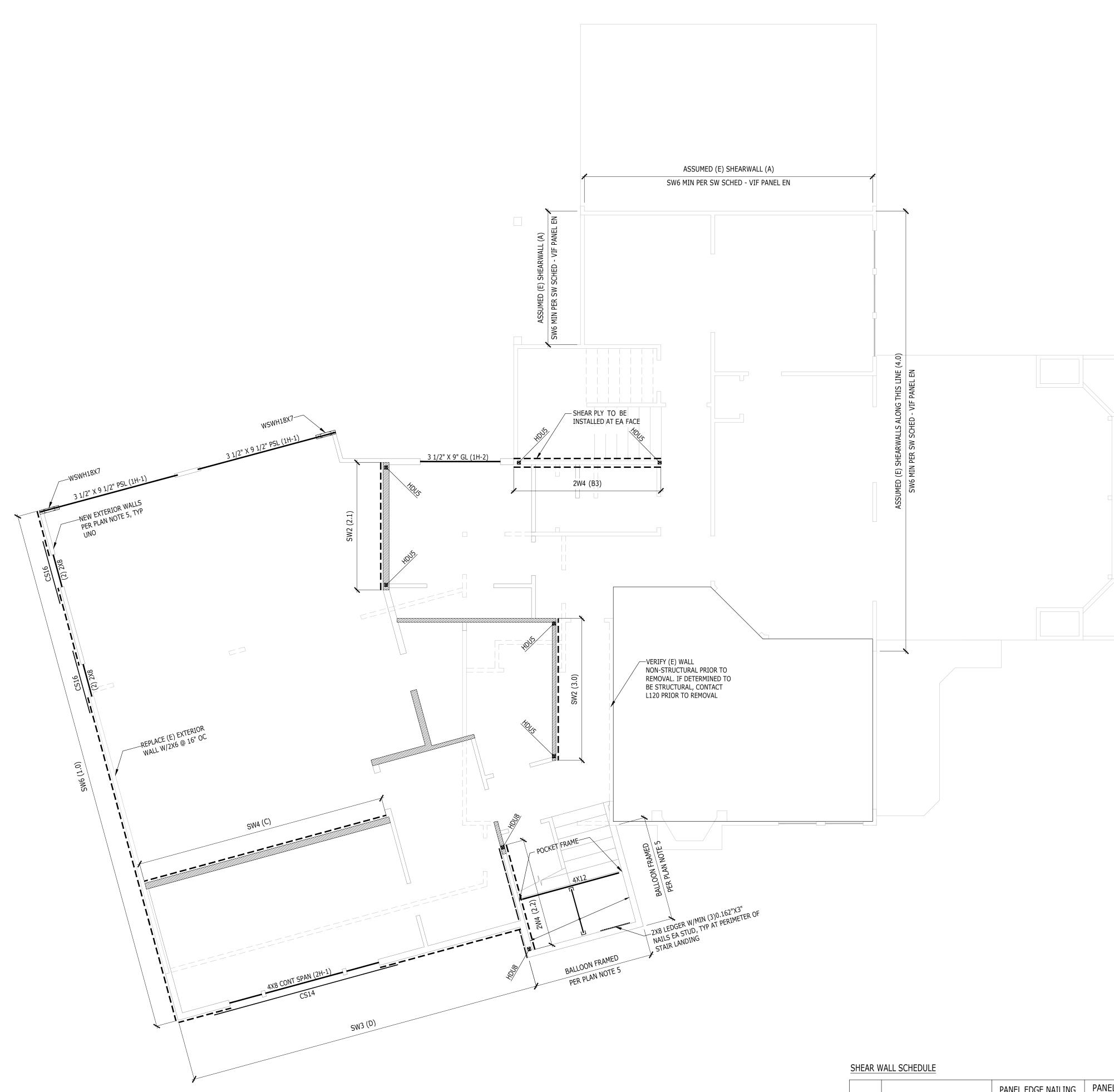
LUS210-2

7"

1-PLY

LUS210





		PANEL EDGE NAILING	PANEL			RIM CONNECTION	
WALL	SHEATHING	(COMMON (GALV) NAILS)	EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

## FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

## WALL FRAMING AND SHEAR WALL NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. LUMBER GRADE PER GENERAL STRUCTURAL NOTES. 4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- 9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS:
- 9/SD-1 TYP STHD HOLDOWN INSTALLATION
- 10/SD-1 TYP STHD HOLDOWN SECTION
- 11/SD-1 TYP HOLDOWN INSTALLATION
- 12/SD-1 TYP PONY WALL DETAIL
- 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-BEARING WALL FRAMING
- 20/SD-1 TYP TOP PLATE SPLICE
- 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
- 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL • 3/SD-2 TYP HEADER FRAMING

#### FRAMING AND SHEATHING LEGEND

- HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)

INTERIOR BEARING WALL

#K - INDICATES THE NUMBER OF KING AND JACK STUDS #1

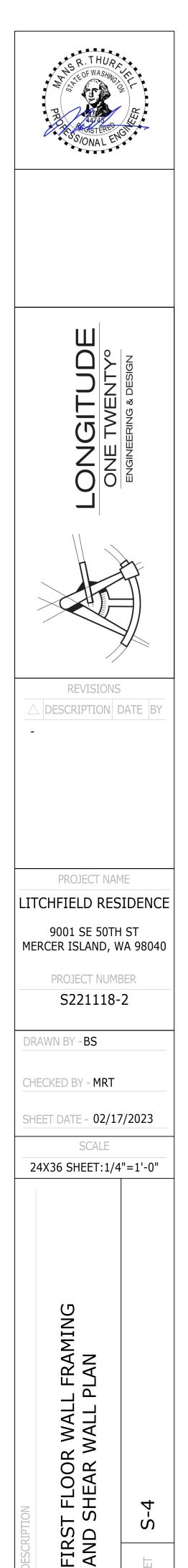
- - - INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK) CS16 - HORIZONTAL STRAP (EXAMPLE)

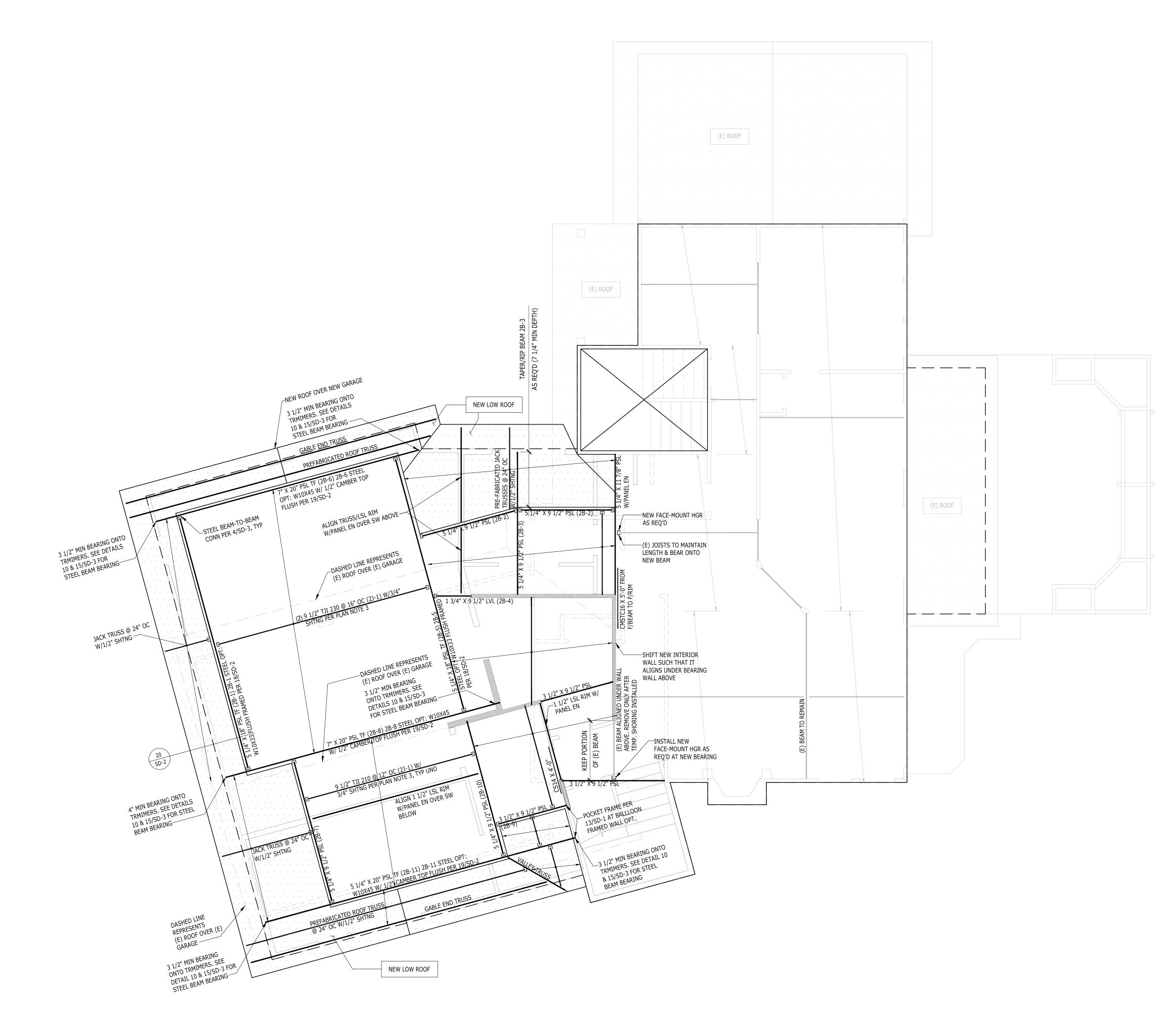
- HEADER

SW6 (A.1) - SHEAR WALL CALLOUT - REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE

REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE 3 1/8" X 9" GLB (FH-5) - EXAMPLE

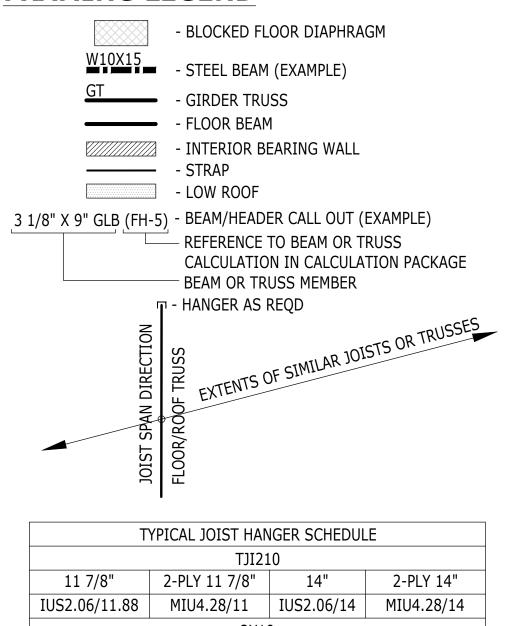
1/δ	X 9	GLB	(FH-5)_ <sup>_</sup>	
				REFERENCE TO BEAM OR TRUSS CALCULATION IN
				CALCULATION PACKAGE
				BEAM OR TRUSS MEMBER

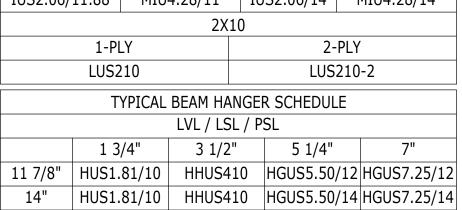




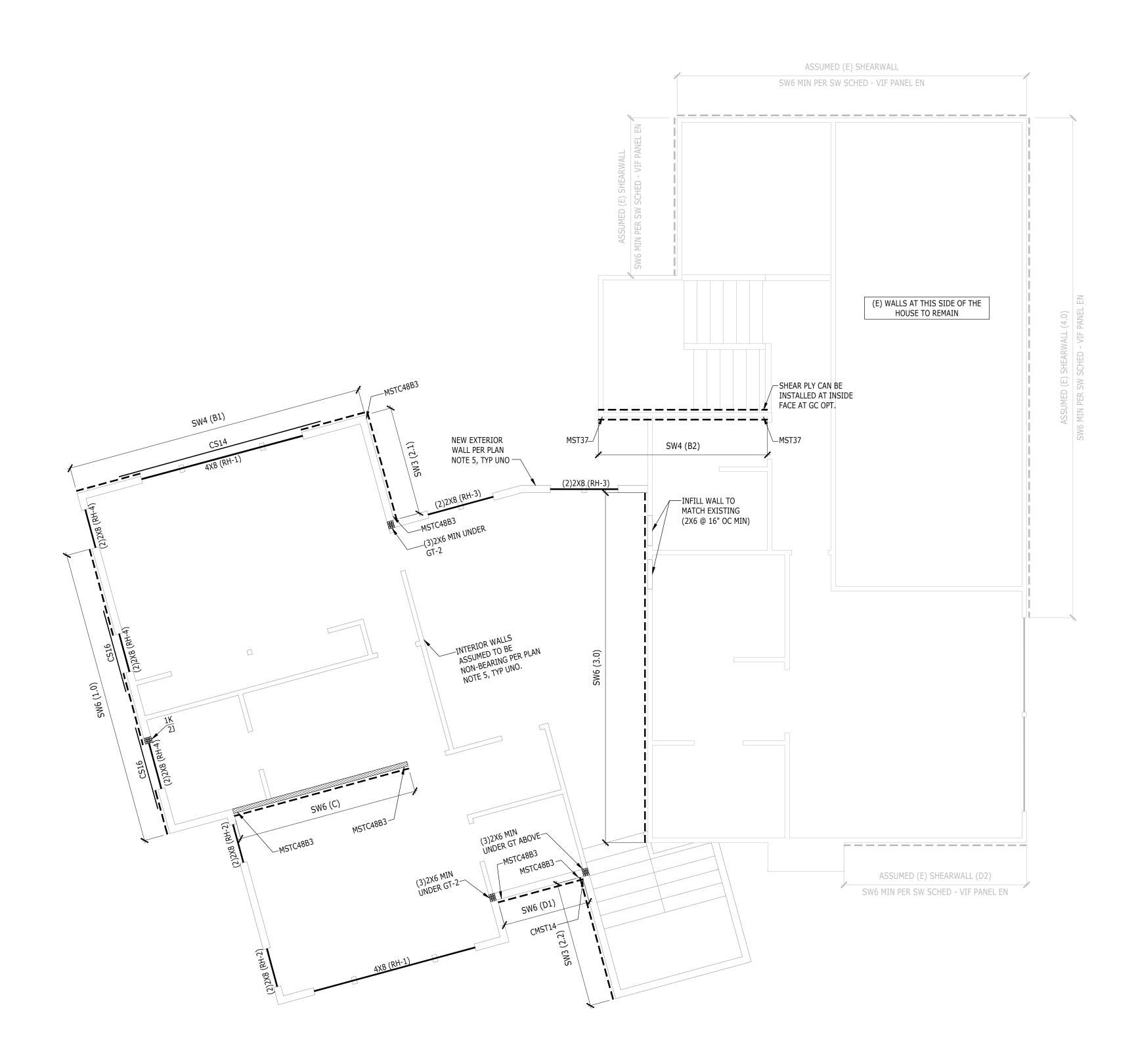
# **FLOOR FRAMING NOTES**

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 6. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EOUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- 7. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 14. TYPICAL DETAILS:
- 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
- 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
- 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL • 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM
- FRAMING LEGEND





	R. THUR R. THUR B. COF WASHING COF WASHING	EF.
		ENGINEERING & DESIGN
ME DR CH	PROJECT NAM PROJECT NAM CHFIELD RES 9001 SE 50TH RCER ISLAND, W PROJECT NUME S221118- AWN BY - BS ECKED BY - MRT EET DATE - 02/17	1E IDENCE ST /A 98040 BER 2
	SCALE 4X36 SHEET:1/4	
DESCRIPTION	SECOND FLOOR FRAMING PLAN	SHEET S-5



#### SHEAR WALL SCHEDULE

		PANEL EDGE NAILING	PANEL			RIM CONNECTION	
WALL	SHEATHING	(COMMON (GALV) NAILS)	EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

#### SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

## WALL FRAMING AND SHEAR WALL NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. LUMBER GRADE PER GENERAL STRUCTURAL NOTES. 4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- 9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS:
- 9/SD-1 TYP STHD HOLDOWN INSTALLATION
- 10/SD-1 TYP STHD HOLDOWN SECTION
- 11/SD-1 TYP HOLDOWN INSTALLATION
- 12/SD-1 TYP PONY WALL DETAIL
- 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-BEARING WALL FRAMING • 20/SD-1 TYP TOP PLATE SPLICE
- 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
- 3/SD-2 TYP HEADER FRAMING

## FRAMING AND SHEATHING LEGEND

(A) SX
· ta M

· HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)

INTERIOR BEARING WALL

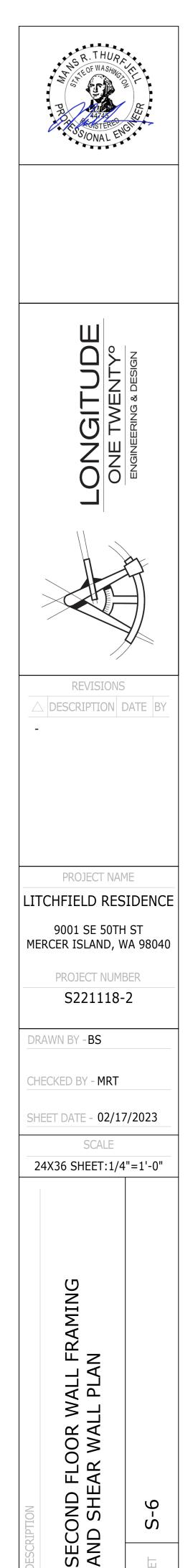
#K - INDICATES THE NUMBER OF KING AND JACK STUDS #]

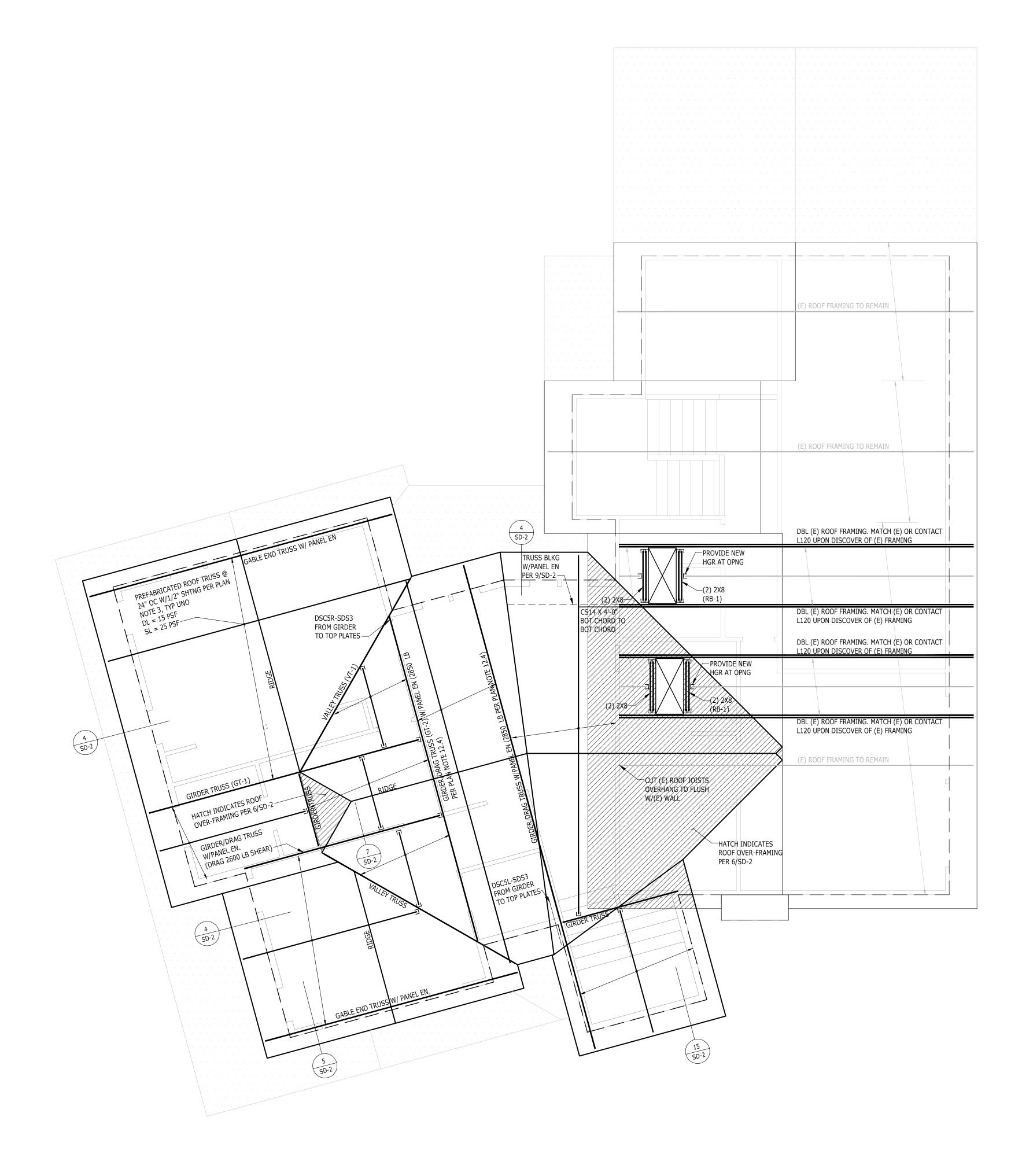
- - - INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK) CS16 - HORIZONTAL STRAP (EXAMPLE)

- HEADER

SW6 (A.1) - SHEAR WALL CALLOUT REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE

3 1/8" X 9" GLB (FH-5) - EXAMPLE - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE BEAM OR TRUSS MEMBER





## **ROOF FRAMING NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- 3. ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
- 5. ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
- 6. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 7. ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- 8. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 9. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
- 11. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
- 12. ENGINEERED ROOF JOISTS AND ROOF TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 12.1. STANDARD DEAD AND LIVE LOADS SHALL BE USED FOR TRUSS DESIGN. REFERENCE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.
- 12.2. CHANGES TO LAYOUT MUST BE SUBMITTED TO THE ARCHITECT AND EOR FOR REVIEW AND APPROVAL.
- 12.3. TRUSS SUBMITTAL PACKAGE TO BE PROVIDED TO EOR FOR REVIEW. REFERENCE STRUCTURAL GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.
   12.4
- 12.4. (XXX LBS SHEAR/DRAG) INDICATES SHEAR TRANSFER LOAD. SHEAR TRUSS SHALL BE DESIGNED TO BE ABLE TO TRANSFER SPECIFIED LATERAL LOAD APPLIED AT THE TOP CHORD TO THE BOTTOM CHORD AND INTO SHEARWALL BELOW.
- 12.5. ROOF TRUSSES SHOULD BE DESIGNED FOR ADDITIONAL LOADS WHERE APPLICABLE AS SPECIFIED BY THE ARCHITECT (I.E. MECHANICAL UNITS, ROOF DECKS AND PATIOS, GREEN ROOFS, SOLAR UNITS AND ETC).
- 12.6. TRUSS DESIGN FOR BEARING AT TOP PLATES TO BE DESIGNED FOR COMPRESSION PERPENDICULAR TO GRAIN.
  13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY
- 13. FIRE-PROOFING AND MOISTORE-PROOFING REQUIREMENTS OTHERS.
   14. ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
- 15. ROOF DRAINAGE BY OTHERS.
- 16. ATTIC VENTILATION BY OTHERS.
- 17. FOR TYPICAL INSTALLATION DETAILS REFERENCE TO:
- 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
   14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG
- DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
   17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
- 4/SD-2 TYP HIP ROOF FRAMING
- 5/SD-2 TYP GABLE END ROOF FRAMING
- 6/SD-2 TYP ROOF OVERFRAMING
- 7/SD-2 TYP INTERIOR SHEAR TRUSS
- 8/SD-2 TYP INTERIOR OFFSET SHEAR TRUSS
  9/SD-2 TYP TRUSS BLOCKING

## FRAMING LEGEND

- GIRDER OR GABLE END TRUSS

<i>\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\</i>	- INTERIOR BEARING WALL
	- ROOF OVERFRAMING

3 1/8" X 9" GLB (FH-5) - EXAMPLE

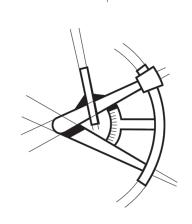
#### - EXAMPLE - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE - BEAM OR TRUSS MEMBER

— веам ок ткозу мемвек - HANGER AS REQD

EXTENTS OF SIMILAR JOISTS OR TRUSSES

ONE TWENTYO ENGINEERING & DESIGN

2. THURE



REVISIONS

PROJECT NAME

### LITCHFIELD RESIDENCE

9001 SE 50TH ST MERCER ISLAND, WA 98040

PROJECT NUMBER

#### S221118-2

DRAWN BY - BS

CHECKED BY - M

CHECKED BY - MRT

SHEET DATE - 02/17/2023

SCALE

24X36 SHEET:1/4"=1'-0"

RAMING PLAN

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