

GENERAL NOTES

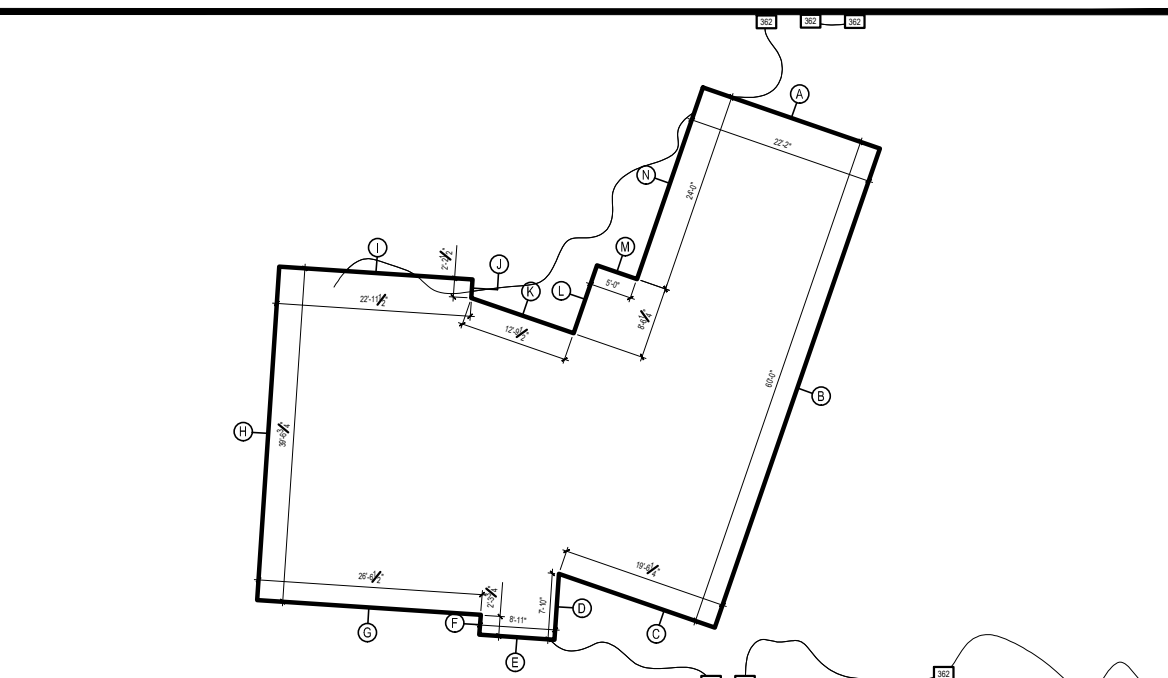
- CODE COMPLIANCE**
ALL WORK SHALL COMPLY WITH THE 2018 IRC, 2018 IMC, 2018 IFGC, 2018 UPC, 2018 IPCM, 2020 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND ALL LOCAL CODES AND ORDINANCES.
- DIMENSIONS**
A. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
B. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
C. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.
- DOCUMENT REVIEW/VERIFICATION**
CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- ROUGH OPENINGS/BACKING**
VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.
- FURRING**
PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- GRADES** - VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
- FLOOR LINES** - "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
- RECURRING FEATURES** - OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.
- DOORS** - DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
- WOOD MEMBERS IN CONTACT WITH CONCRETE**, AND/OR EXPOSED TO WEATHER: TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 6", TYPICAL.
- FRAMING** - ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C. & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C. UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS.
- VENTILATION**
VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED.
ALL EXHAUST FANS/VENT HOODS OVER 400CFM SHALL HAVE A MAKE-UP AIR DEVICE W/ DAMPER STARTING AUTOMATICALLY AND RUNNING CONTINUOUSLY WITH THE FAN CAPABLE OF SUPPLYING AN EQUIVALENT AMOUNT OF AIR.
- FLUES** - FLUES TO BE LOCATED MINIMUM 2' FROM ALL COMBUSTIBLE MATERIALS.
- DOWNSPOUTS** - LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.
- OTHER DOCUMENTATION** - REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
- PROTECTION**
PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
- PERMITS**
SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT.
- ROOFING** - PROVIDE NEW ROOFING TO MATCH EXISTING.
- EXHAUST DUCTS** - PROVIDE BACKDRAFT DAMPERS ON ALL EXHAUST DUCTS.
- PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.**
- APPLIANCES** - CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
- WATER FLOW** - SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.
- SMOKE DETECTORS**
NFPA 72 CHAPTER 29 MONITORED FIRE ALARM SYSTEM REQUIRED THROUGHOUT RESIDENCE. THIS SHALL BE INSTALLED PER NFPA AND COM STANDARDS. A SEPARATE FIRE PERMIT IS REQUIRED.
- FIRE BLOCKING** - FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS AND FORM A VERTICAL AND HORIZONTAL FIRE BARRIER BETWEEN STORIES AND THE TOP STORY TO ROOF SPACE PER IRC R302.11 AND R302.7.

DUTY OF COOPERATION

RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS. FAILURE TO DO SO SHALL RELIEVE STURMAN ARCHITECTS FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF STURMAN ARCHITECTS ARE UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE STURMAN ARCHITECTS OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH ACTIONS.

ABE CALCULATIONS NO SCALE



AVERAGE BUILDING ELEVATION

	Wall Length	Elevation Pt.	Wall Length X Elev. Pt.
A	22.20	362.10	8038.62
B	60.00	362.00	21720.00
C	19.50	362.10	7060.95
D	7.80	362.10	2824.38
E	8.90	361.90	3220.91
F	2.30	361.80	832.14
G	26.50	361.70	9585.05
H	39.60	361.80	14327.28
I	22.90	362.00	8289.80
J	2.20	361.90	796.18
K	12.80	362.10	4634.88
L	8.50	362.10	3077.85
M	5.00	362.10	1810.50
N	24.00	362.10	8690.40
262.20	5067.80	94908.94	
94908.94	361.97	Average Building Elevation	
262.20			

PROJECT DATA

PROJECT ADDRESS: 9001 SE 50TH ST
MERCER ISLAND, WA 98040

PROPERTY TAX ID NUMBER: 142500-000

SCOPE OF WORK: DEMO/REBUILD OF EXISTING GARAGE WITH A NEW 1085F EXPANSION OVER THE EXISTING DRIVEWAY. NEW 5075F ADDITION/REMODEL OF THE MAIN LEVEL WITH A NEW 928 SF ADDITION OVER THE NEWLY ADDED GARAGE/MAN FLOOR.

ZONING: R-8.4

CONSTRUCTION TYPE: TYPE V B

SEISMIC ZONE: 3

NUMBER OF STORIES: 2 STORY

FIRE PROTECTION: NEW NFPA FIRE SPRINKLER SYSTEM

BUILDING HEIGHT: 30 FT ABOVE AVERAGE BUILDING ELEVATION (FLAT ROOF)
35 FT ABOVE AVERAGE BUILDING ELEVATION (SLOPED ROOF)

LOT AREA: 12,800 SF

NET AREA: 12,000 SF - 1,273.3 ACCESS EASEMENT SF = **11,626.7 SF**

SETBACKS: FRONT LOT LINE = 20 FT
REAR LOT LINE = 25 FT
SIDE LOT LINES = 15 FT TOTAL (MINIMUM 5 FT)

LOT COVERAGE: 40% MAX

PROJECT TEAM

OWNER: LAWRENCE AND CATHERINE LITCHFIELD
9001 SE 50TH ST
MERCER ISLAND, WA 98040
PHONE:

ARCHITECT: STURMAN ARCHITECTS, INC.
9 - 103RD AVE NE, SUITE 203
BELLEVUE, WA 98004
PHONE: 425.451.7003
CONTACT: BRAD STURMAN

L120 ENGINEERING & DESIGN
13150 91ST PL NE
KIRKLAND, WA 98034
PHONE: 425.636.3313
CONTACT: MANS THURFJELL

LOT COVERAGE & HARDSCAPE

GROSS LOT AREA IS 12,800 SF
NET LOT AREA IS 11,626.7 SF

LOT COVERAGE	MAIN STRUCT. & ROOF S.F.	TOTAL LOT COVERAGE	% LOT COVERAGE	
EXISTING LOT COVERAGE	2,860.6 SF	1,502.8 SF	4,163.4 SF	36.1 %
PROPOSED LOT COVERAGE	3,210.3 SF	1,181.6 SF	4,391.9 SF	38.1 %
CHANGE	+549.7 SF	-321.2 SF	+228.5 SF	+2.0 %
% ALLOWED LOT COVERAGE			4,810.7 SF ALLOWABLE	40 %

HARDSCAPE	PATHWAY	FIREPIT	HOT TUB PAD	WOOD DECK+PLANTER	TOTAL HARDSCAPE	% HARDSCAPE
EXISTING HARDSCAPE	274.6 SF	7.0 SF	53.7 SF	430.4 SF	765.7 SF	6.6 %
PROPOSED HARDSCAPE	274.6 SF	7.0 SF	0.0 SF	430.4 SF	712.0 SF	6.2 %
CHANGE	0 SF	0 SF	-53.7 SF	0 SF	0 SF	0.0 %
% ALLOWED HARDSCAPE					1,037.4 SF ALLOWABLE	9 %

HIGHEST EL: +/-362.3'
LOWEST EL: +/-361.0'
ELEVATION DIFFERENCE= 1.3'

1.3' DIVIDED BY 130.3' (HORIZ. DIST. BTWN. HIGHEST & LOWEST ELEV.) = .009

LOT SLOPE IS 0.9%, WHICH IS LESS THAN 15% THUS LOT COVERAGE ALLOWED IS 40%.

NOTE: CONTOURS TAKEN FROM MERCER ISLAND GIS

GROSS FLOOR AREA

LOT SIZE = 12,800 SF
GFA THRESHOLD = 5,000 SF OR 40% (5,120) OF THE LOT AREA, WHICHEVER IS LESS

EXISTING RESIDENCE GFA: MAIN FLOOR = 1,483.7 SF
SECOND FLOOR = 1,017.7 SF
ATTACHED GARAGE = 583.7 SF
16' + CEILING HEIGHT = 195.0 SF

TOTAL EXISTING: = 3,280.1 SF

EXISTING GFA IS 3,280.1 SF OR 25.6%

PROPOSED RESIDENCE GFA: MAIN FLOOR = 1,991.4 SF
UPPER FLOOR = 1,853.7 SF
ATTACHED GARAGE = 691.8 SF
16' + CEILING HEIGHT = 195 SF

TOTAL PROPOSED: = 4,731.9 SF

PROPOSED GFA IS 4,731.9 SF OR 36.9%

2018 WSEC CREDITS

ADDITIONS ARE MORE THAN 500SF OF HEATED SPACE BUT LESS THAN 1,500 SF. 3 CREDITS NEEDED.

CREDITS	OPTION	DESCRIPTION
0.5	1.3	EFFICIENT BUILDING ENVELOPE
1.0	3.1	HIGH EFFICIENCY HVAC EQUIPMENT
0.5	4.1	HIGH EFFICIENCY HVAC EQUIPMENT
1.0	5.3	EFFICIENT WATER HEATING

TOTAL CREDITS: 3.0

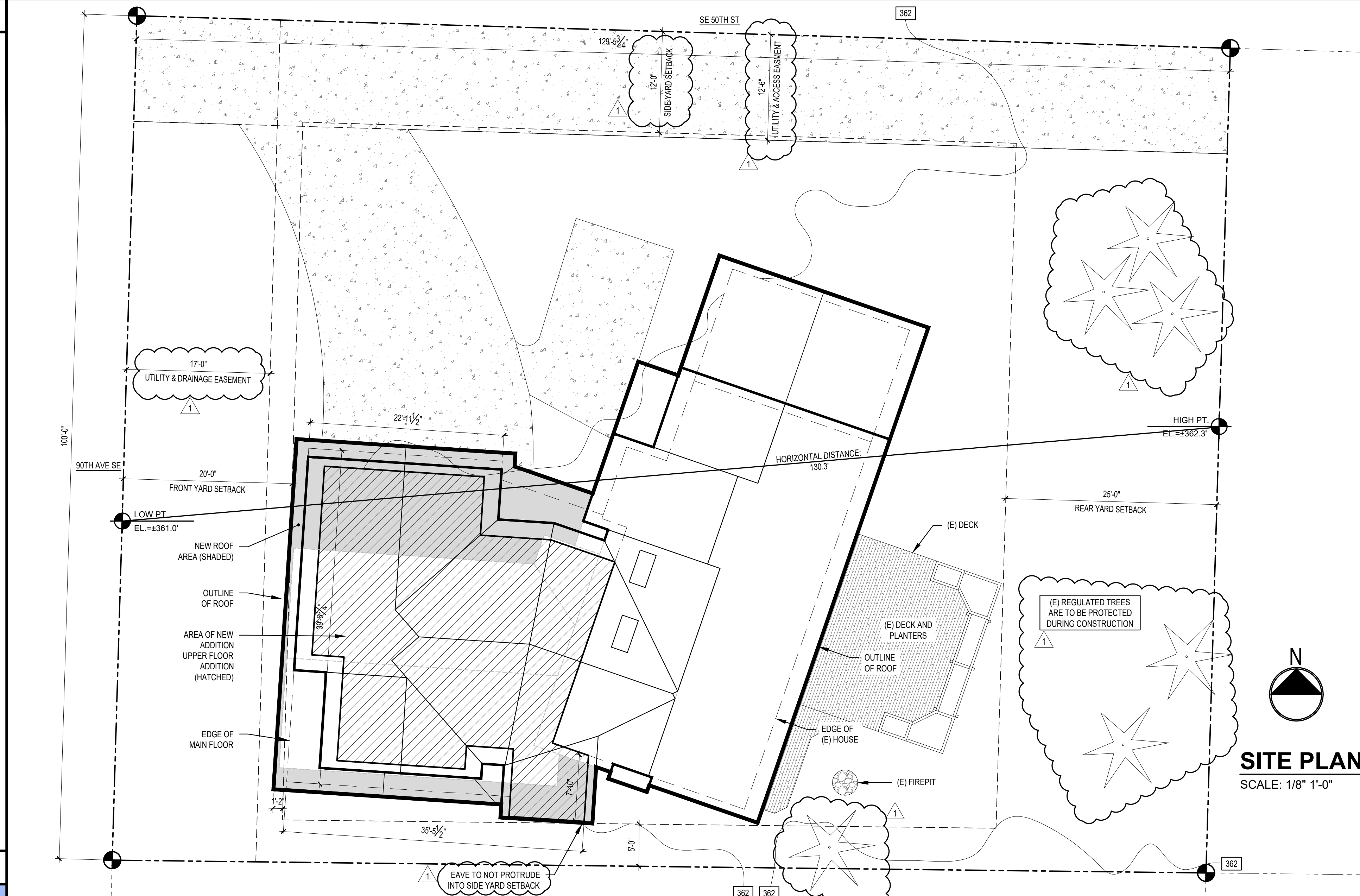
LEGAL DESCRIPTION

CASCADE RIDGE LESS THAT POR BEG AT SW COR OF SD LOT STH S 88-17-59 E 129.49 FT TH N 01-41-19 E 2.33 FT TH N 89-19-59- W 129.51 FT TPOB
Plat Block:
Plat Lot: 8

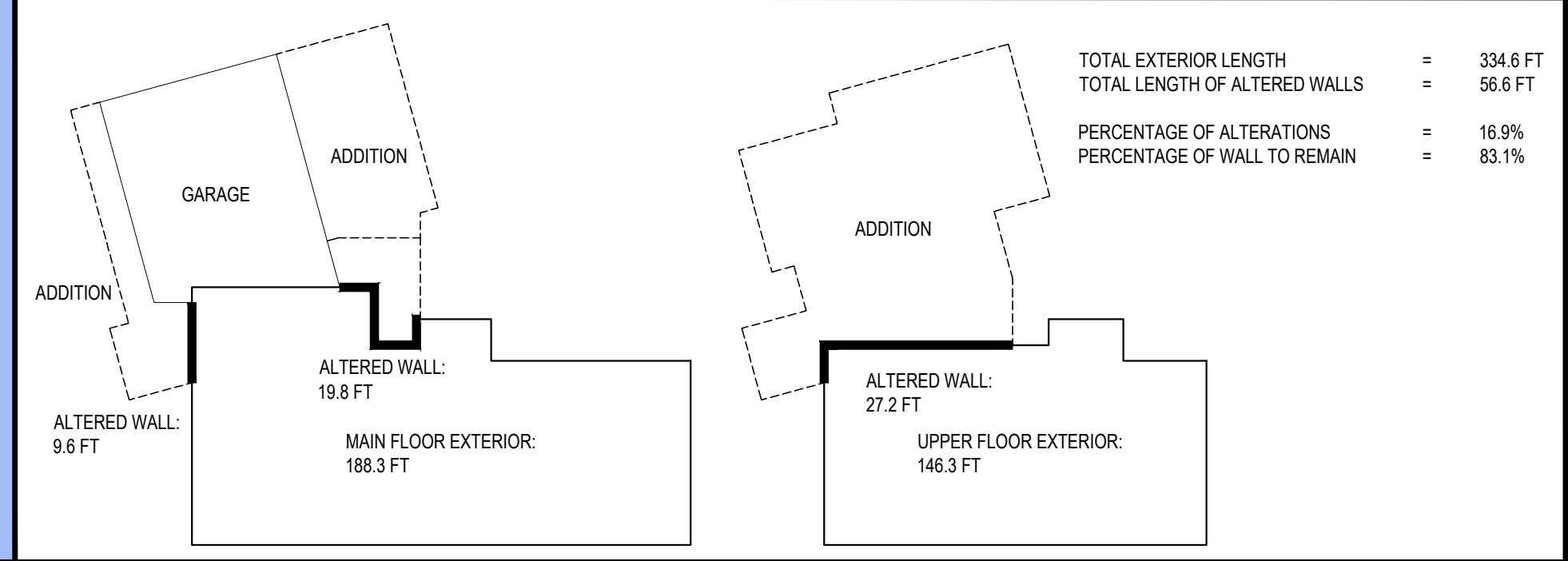
ENERGY NOTES

- CODE: 2018 W.S.E.C. & 2018 IRC, WAC 51-11R
- CLIMATIC ZONE: ZONE #4C
- SOURCE HEAT TYPE: NATURAL GAS
- INSULATION VALUES: WALLS: R-21
FLAT ATTIC/CEILINGS: R-49
VAULTED CEILINGS: R-38
FLOORS OVER UNHEATED SPACES: R-30
SLAB-ON-GRADE: R-10
- THERMAL STANDARDS FOR OPENINGS: UNLIMITED OPTION
- AIR INFILTRATION: MANUFACTURED DOORS/WINDOWS, CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE
- MOISTURE CONTROL: WALLS: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH. OR, VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE)
- ATTIC/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE), INSTALL CONTINUOUSLY
- CRAWL SPACE: 6 MIL POLYETHYLENE
- VENTILATION: ATTIC WITH LOOSE FILL: N.A. Baffle VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE
ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION, TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION
- HEATING & COOLING: EXISTING NATURAL GAS FURNACE
- TEMP. CONTROL: FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FAHRENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.
- DUCT INSULATION: THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH TABLE R403.3.1 OF THE WASHINGTON STATE ENERGY CODE
a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER WSEC.
b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.
- LIGHTING: RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED.
ALL ROOMS WITHOUT GLAZING SHALL HAVE ARTIFICIAL LIGHTING ACROSS THE AREA OF THE ROOM PRODUCING AN AVERAGE 6 FOOTCANDLES AT 30" ABOVE THE FLOOR
- PIPE INSULATION: NON RECIRCULATING HOT AND COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE SHALL BE INSULATED TO R-3 MIN. PLUMBING OR MECHANICAL CANNOT DISPLACE THE REQUIRED INSULATION.
- WHOLE HOUSE VENTILATION: WHOLE HOUSE VENTILATION SYSTEM:
a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY EXHAUST FAN PROVIDING 78 CFM RUNNING CONTINUOUSLY PER 2018 IRC TABLE M1505.4.3 (182). FAN SHALL BE CONNECTED TO A 24 HOUR CLOCK TIMER AND HAVE A SONG RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.
b. SYSTEM SHALL HAVE A 5'0" SMOOTH FRESH AIR DUCT W/ LOUVER & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND INSULATED W/ R-4 MIN IN HEATED AREAS. ALL SUPPLY DUCTS IN UNCONDITIONED SPACE SHALL BE INSULATED TO MIN. R-4 PER IRC M1507.6.2.
c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.
d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.

VICINITY MAP



40% RULE DIAGRAM (NO SCALE)



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- SD-1 STRUCTURAL DETAILS
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- SD-3 STRUCTURAL DETAILS

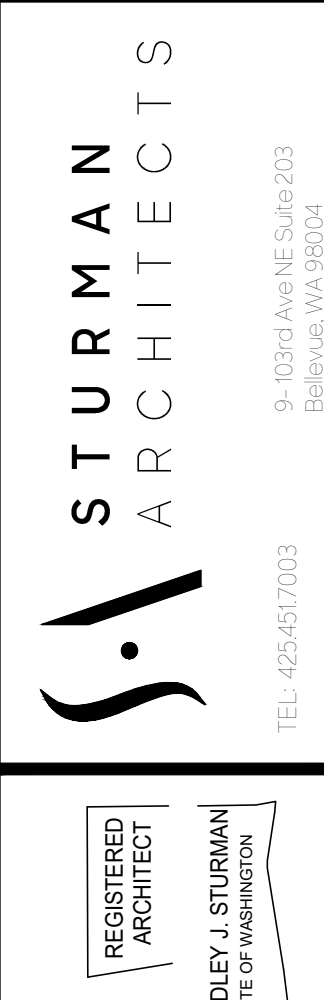
BUILDING AREA

	MAIN FLOOR	UPPER FLOOR	HEATED SUB-TOTAL
EXISTING SF:	1,578.4 SF	1,017.7 SF	2,596.1 SF
PROPOSED HOUSE SF:	2,086.1 SF	1,946.6 SF	4,032.7 SF
CHANGE IN SF:	+507.7 SF	+928.9 SF	+1,436.6 SF

	ATTACHED GARAGE	GRAND TOTAL
EXISTING SF:	583.7 SF	3,179.8 SF
PROPOSED HOUSE SF:	691.8 SF	4,731.9 SF
CHANGE IN SF:	+108.1 SF	+1,544.0 SF

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

CORRECTION SET 9/8/2023



LITCHFIELD RESIDENCE
9001 SE 50TH ST
MERCER ISLAND, WA 98040.

SITE PLAN

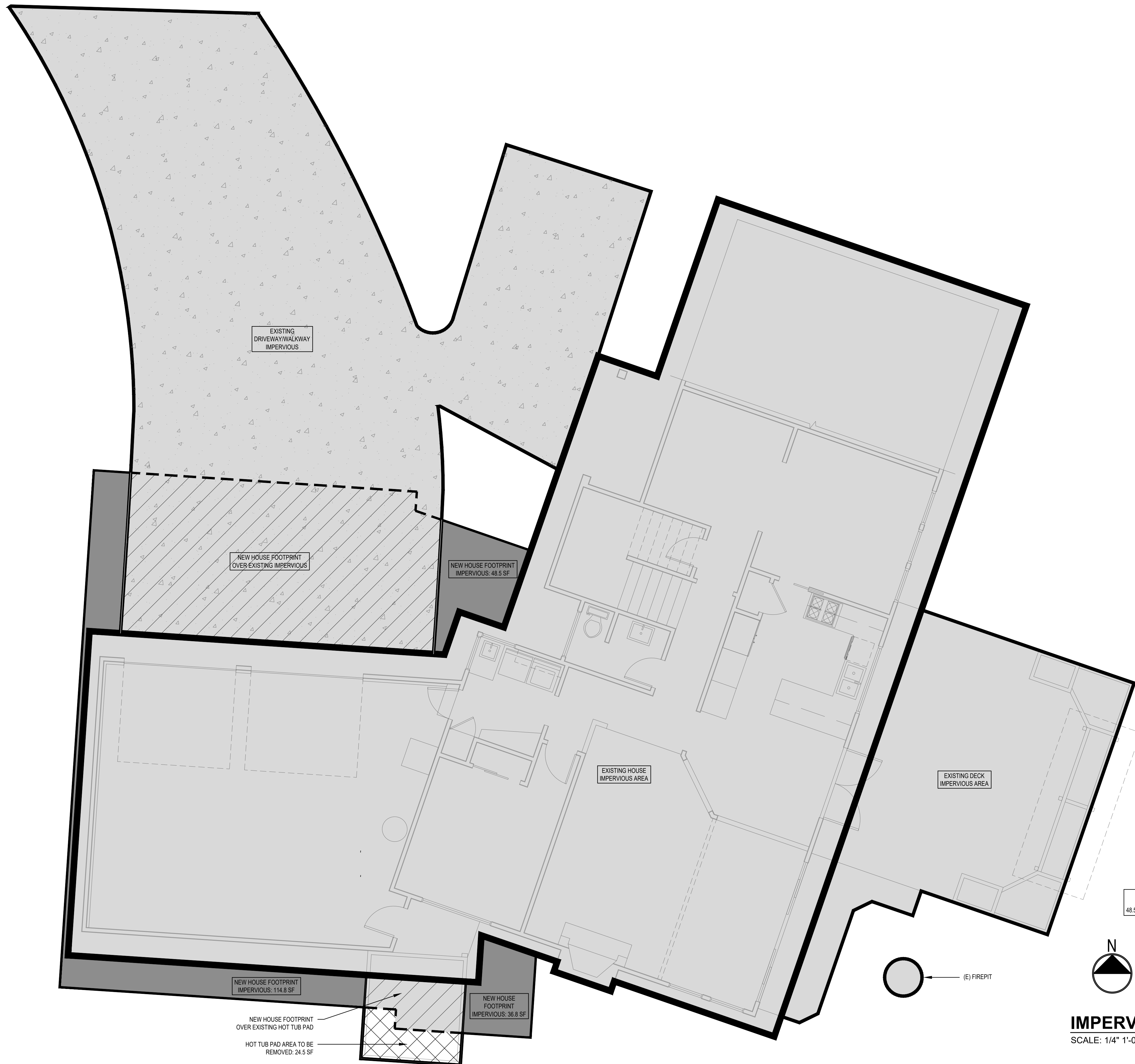
REVISIONS:
2023-8-8 CORRECTION 1

PLOT DATE: 9/8/2023

DRAWN BY: JM

CHECKED BY: BJS

SHEET **A1.0**



EXISTING DRIVEWAY/WALKWAY IMPERVIOUS

NEW HOUSE FOOTPRINT OVER EXISTING IMPERVIOUS

NEW HOUSE FOOTPRINT IMPERVIOUS: 48.5 SF

EXISTING HOUSE IMPERVIOUS AREA

EXISTING DECK IMPERVIOUS AREA

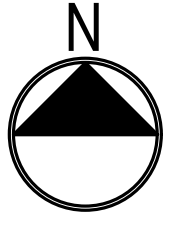
NEW HOUSE FOOTPRINT IMPERVIOUS: 114.8 SF

NEW HOUSE FOOTPRINT OVER EXISTING HOT TUB PAD
HOT TUB PAD AREA TO BE REMOVED: 24.5 SF

NEW HOUSE FOOTPRINT IMPERVIOUS: 38.8 SF

NET NEW IMPERVIOUS AREA:
48.5 SF + 114.8 SF + 38.8 SF - 24.5 SF = **175.6 SF**

(E) FIREPIT



IMPERVIOUS PLAN
SCALE: 1/4" 1'-0"

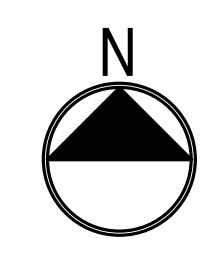
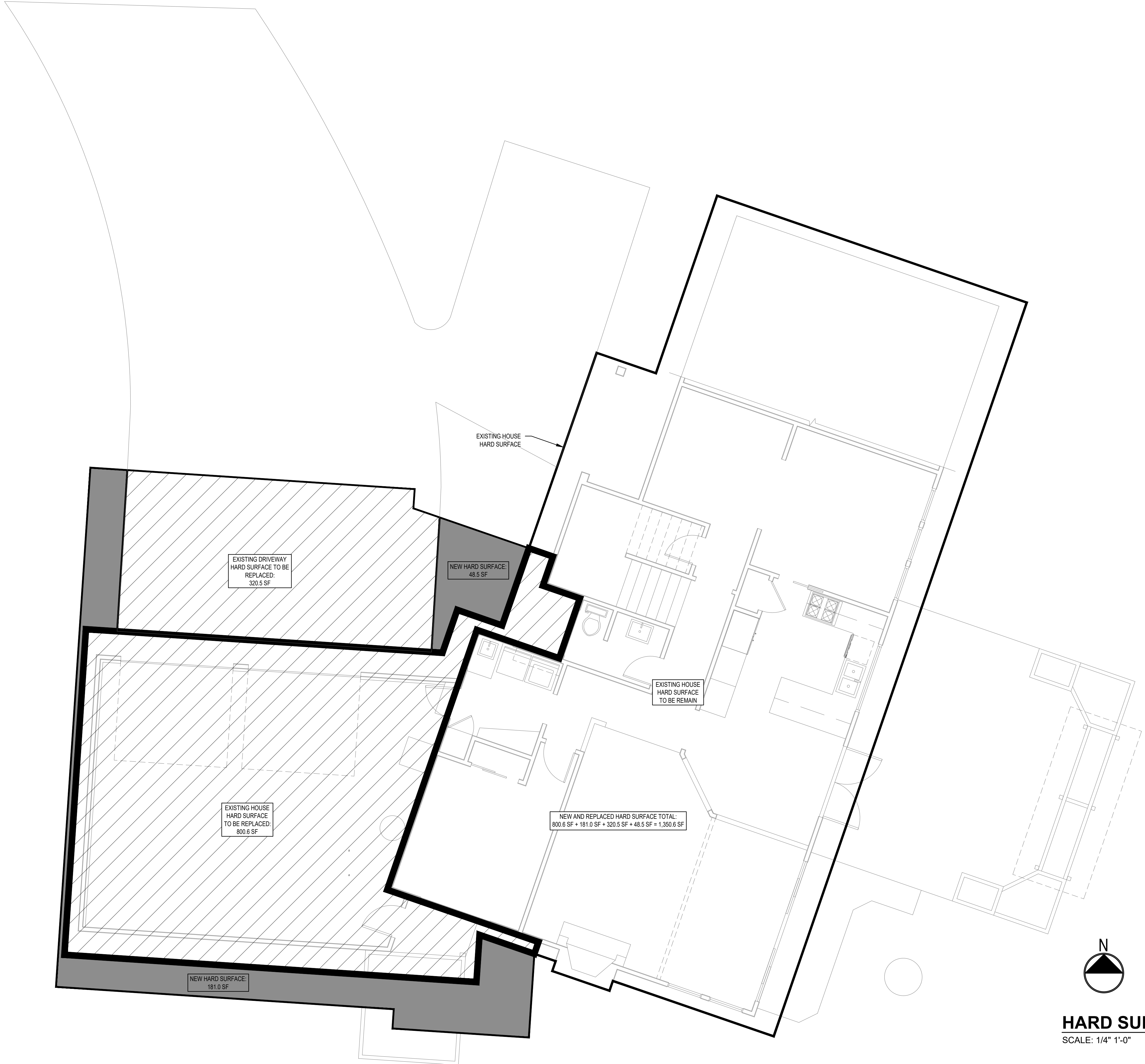
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IMPERVIOUS PLAN

REVISIONS:	2023-8-8 CORRECTION 1
DATE	
BY	
DESCRIPTION	

PLOT DATE: 9/8/2023
DRAWN BY: JM
CHECKED BY: BJS

SHEET
A1.1



HARD SURFACE PLAN

SCALE: 1/4" 1'-0"

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A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

CORRECTION SET 9/8/2023

HARD SURFACE PLAN

REVISIONS:

2023-8-8	CORRECTION 1

PLOT DATE: 9/8/2023

DRAWN BY: JM

CHECKED BY: BIS

SHEET

A1.2

WALL PARTITION TYPES:

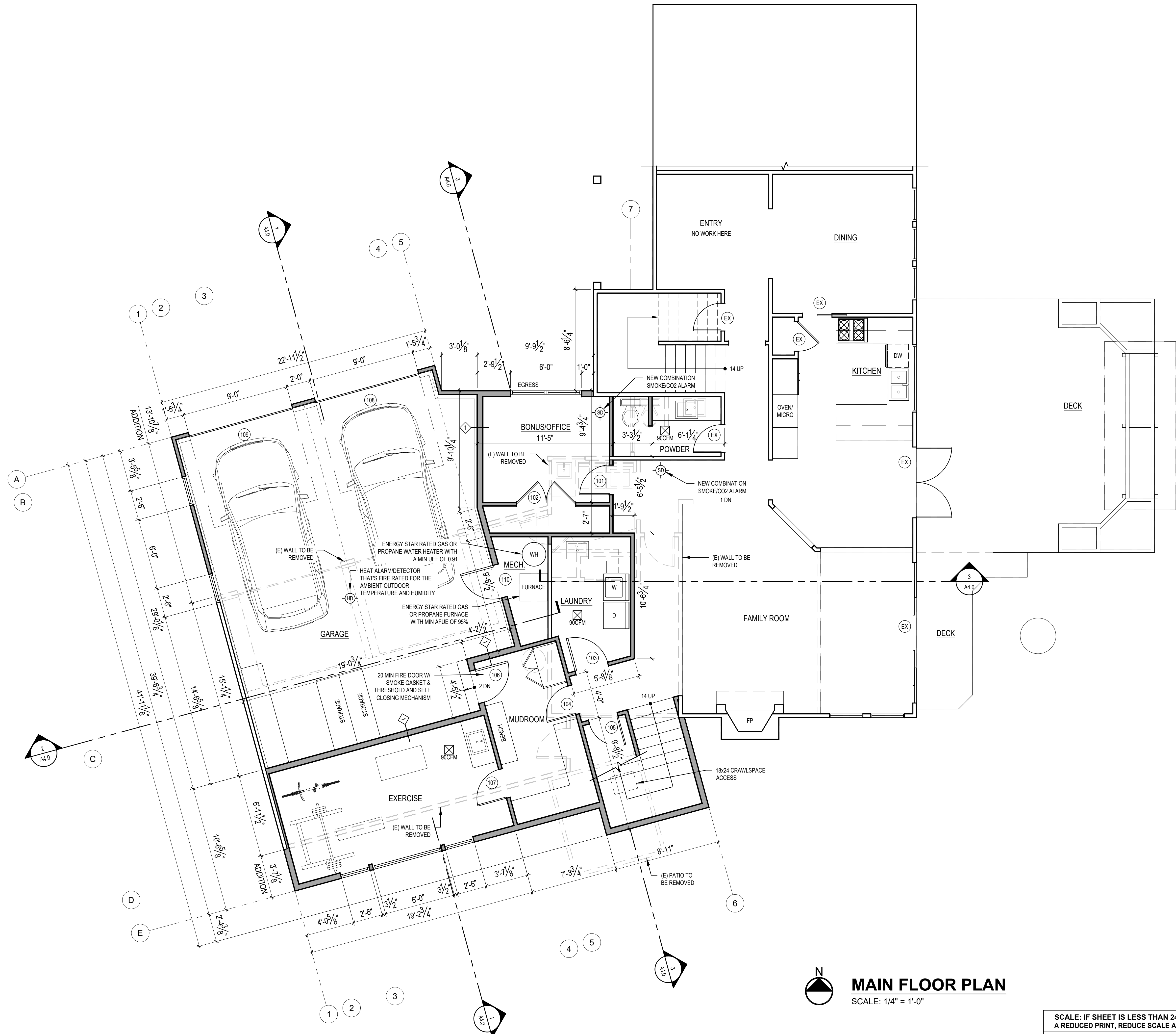
N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.)

TYPICAL EXTERIOR WALL
 EXTERIOR WALL FINISH OF (2)
 LAYERS 5/8" BLDG. PAPER OF 1/2"
 CDX PLYWOOD OR 2x6 WOOD
 STUDS AT 16" O.C. w/ 1/2"
 GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT
 INSULATION EXCEPT AROUND GARAGE.

TYPICAL INTERIOR PARTITION
 U.N.O. ALL INTERIOR WALL SHALL BE 2x4 WOOD STUDS @
 16" O.C. w/ 1/2" GYPSUM WALLBOARD EACH SIDE.

TYPICAL FURRED WALL
 2" AIRSPACE. 2x4 P.T. WOOD STUDS @ 16" O.C. w/ 1/2"
 GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT
 INSULATION.

1HR. FIRE RATED WALL
 5/8" THK GWB, TYPE X OR 2x6 WD STUDS @ 16" O.C.
 PANELS NAILED 7" O.C. - 1 7/8" CEM CTD NAILS - JOINTS EXP
 OR FIN - PERIM CAULKED - UL DES U305 & U314 - JOINTS
 FIN



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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CHECKED BY:	BJS
SHEET	A2.0

WALL PARTITION TYPES:

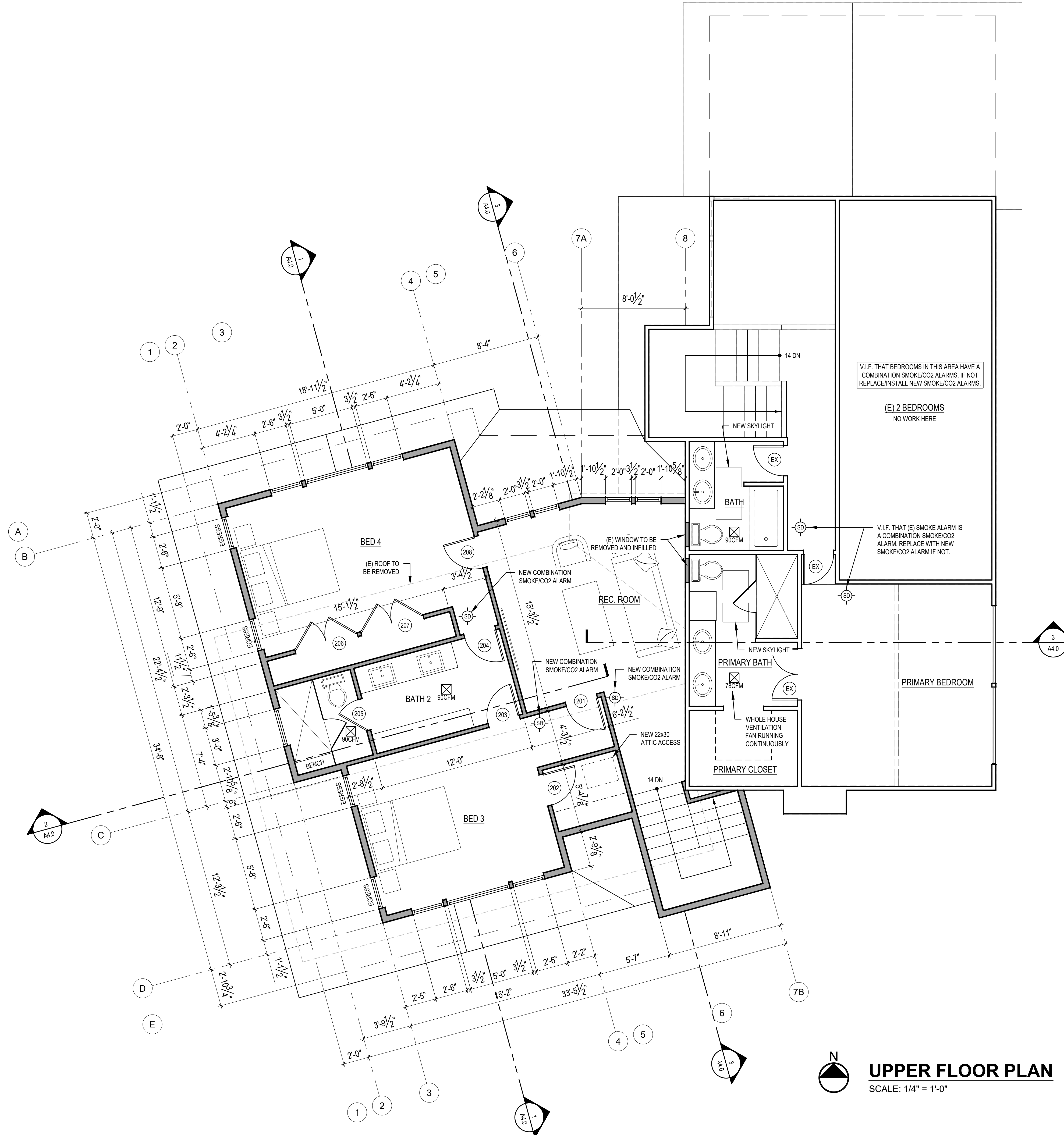
N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.)

TYPICAL EXTERIOR WALL
 EXTERIOR WALL FINISH OF (2) LAYERS 5/8" BLDG. PAPER OF 1/2" CDX PLYWOOD OR 2x6 WOOD STUDS AT 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION EXCEPT AROUND GARAGE.

TYPICAL INTERIOR PARTITION
 U.N.O. ALL INTERIOR WALL SHALL BE 2x4 WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD EACH SIDE.

TYPICAL FURRED WALL
 2" AIRSPACE. 2x4 P.T. WOOD STUDS @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.

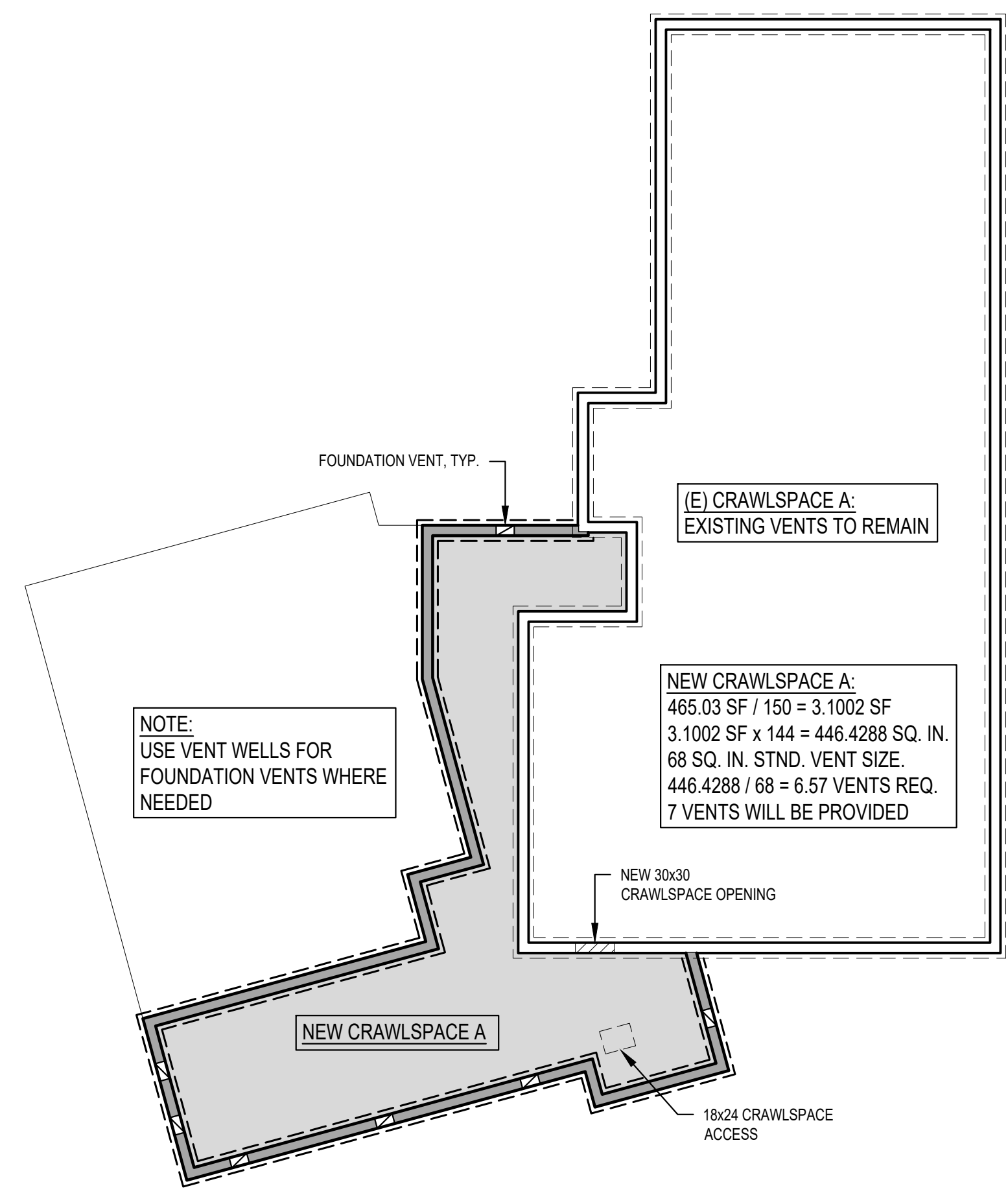
1HR. FIRE RATED WALL
 5/8" THK GWB, TYPE X O/ 2x6 WD STUDS @ 16" O.C. PANELS NAILED 7" O.C. 1 7/8" CEM CTD NAILS. JOINTS EXP OR FIN - PERIM CAULKED-UL DES U305 & U314-JOINTS FIN



UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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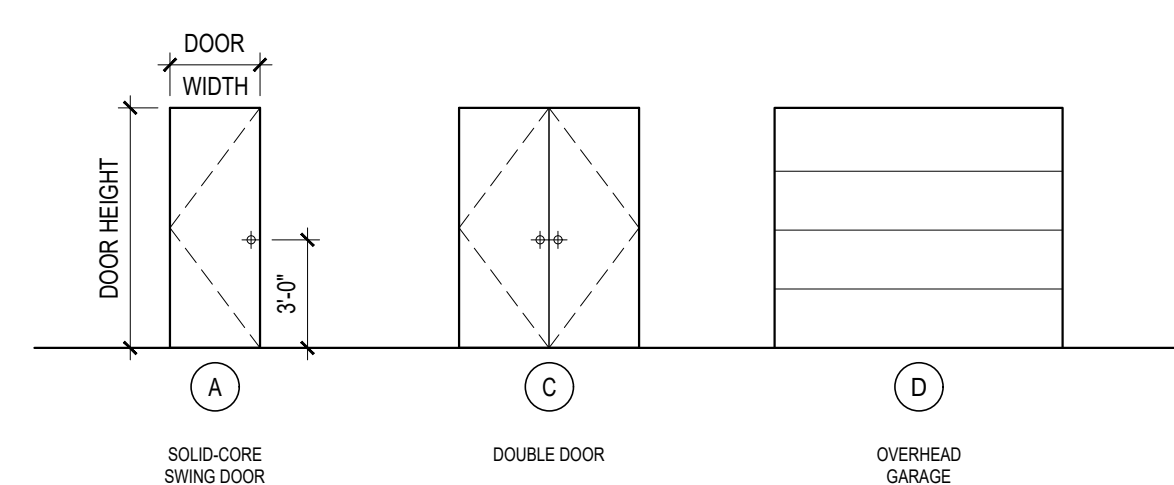
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PLOT DATE:	9/8/2023
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	A2.1



CRAWLSPACE DIAGRAM

SCALE: 1/8" = 1'-0"

DOOR TYPES:



DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)	REMARKS
MAIN FLOOR								
101	BONUS/OFFICE	2' - 6"	6' - 8"	A		1-3/4"		
102	BONUS/OFFICE CLOSET	5' - 0"	6' - 8"	B		1-3/4"		
103	LAUNDRY	2' - 10"	6' - 8"	A		1-3/4"		
104	MUDROOM	2' - 6"	6' - 8"	A		1-3/4"		
105	UNDER STAIR CLOSET	2' - 6"	6' - 8"	A		1-3/4"		
106	MUDROOM	2' - 10"	6' - 8"	A		1-3/4"		20 MIN FIRE RATED DOOR
107	EXERCISE	2' - 6"	6' - 8"	A		1-3/4"		
108	GARAGE	9' - 0"	8' - 0"	C		1-3/4"		
109	GARAGE	9' - 0"	8' - 0"	C		1-3/4"		
110	MECHANICAL	2' - 10"	6' - 8"	A		1-3/4"		
UPPER FLOOR								
201	BED 3	2' - 6"	7' - 0"	A		1-3/4"		
202	BED 3 CLOSET	4' - 0"	7' - 0"	A		1-3/4"		
203	BATH 2	2' - 6"	7' - 0"	A		1-3/4"		
204	BATH 2	2' - 6"	7' - 0"	A		1-3/4"		
205	BATH 2	2' - 6"	7' - 0"	A		1-3/4"		
206	BED 4 CLOSET	2' - 6"	7' - 0"	B		1-3/4"		
207	BED 4 CLOSET	2' - 6"	7' - 0"	B		1-3/4"		
208	BED 4	2' - 6"	7' - 0"	A		1-3/4"		



MAIN FLOOR

SCALE: 1/8" = 1'-0"

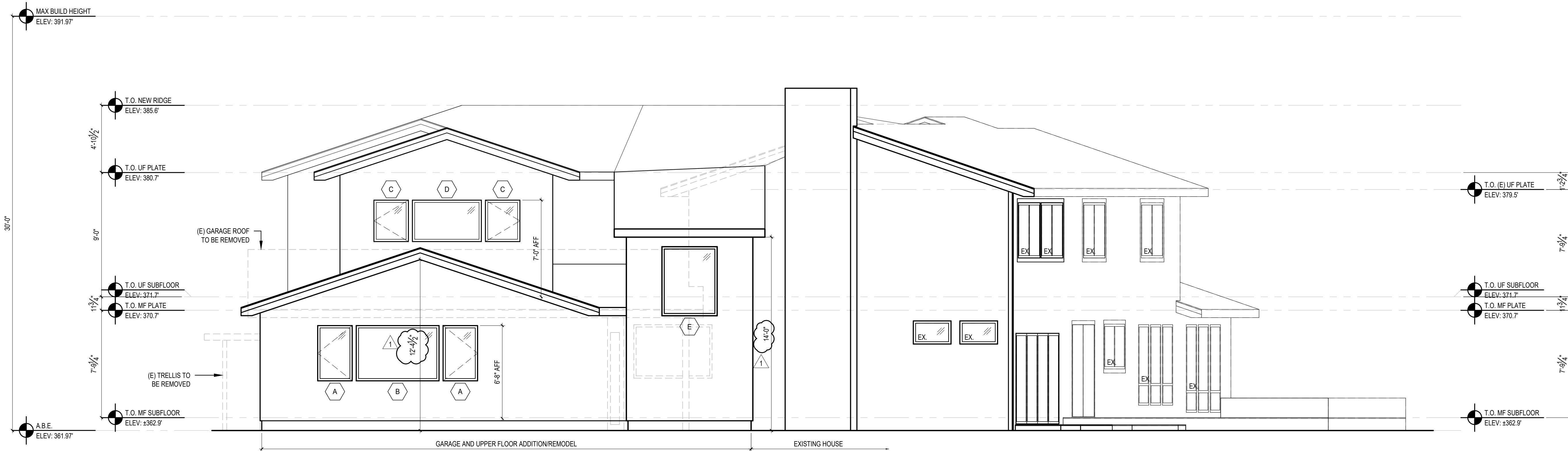
	PROPOSED FLOOR AREA		
MAIN FLOOR	2,011.5 SF	LOT SIZE	12,800 SF
UPPER FLOOR	1,852.2 SF	GFA THRESHOLD	5,000 SF
GARAGE	668.9 SF	PROPOSED GFA	5,080.4 SF
16'-0" + CEILING HEIGHT	195.0 SF	PROPOSED %GFA COVERAGE	30.8%
TOTAL	4,727.6 SF	PROPOSED GFA IS 5,080.4 SF OR 30.8%	

PROPOSED GROSS FLOOR AREA

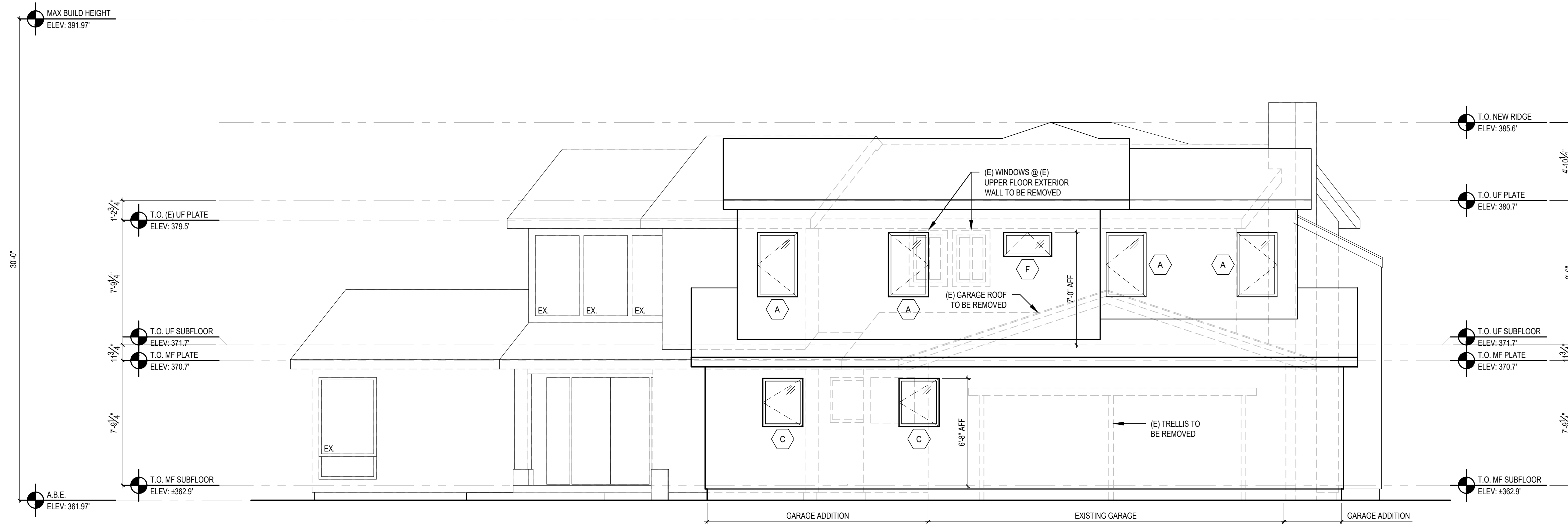
TAG.	DESCRIPTION	WINDOW SIZE		TEMP.	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	CASEMENT	2' - 6"	4' - 0"		6	60	0.28	LOW E / CLEAR	EGRESS IN SOME LOCATIONS
B	FIXED	6' - 0"	4' - 0"		1	24	0.28	LOW E / CLEAR	
C	CASEMENT	2' - 6"	3' - 0"		4	30	0.28	LOW E / CLEAR	
D	FIXED	5' - 0"	3' - 0"		2	30	0.28	LOW E / CLEAR	
E	FIXED	4' - 0"	5' - 0"		1	20	0.28	LOW E / CLEAR	
F	AWNING	3' - 0"	1' - 6"	Y	1	4.5	0.28	LOW E / CLEAR	
G	CASEMENT	2' - 0"	4' - 0"		4	32	0.28	LOW E / CLEAR	
H1	FIXED	3' - 0"	4' - 0"		1	12	0.28	LOW E / CLEAR	
H1	CASEMENT	3' - 0"	4' - 0"		1	12	0.28	LOW E / CLEAR	EGRESS
I	SKYLIGHT	2' - 0"	4' - 0"		2	16	0.5	LOW E / CLEAR	

WINDOW SCHEDULE

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 CORRECTION SET 9/8/2023



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CORRECTION SET 9/8/2023

REVISIONS:

2023-8-8	CORRECTION 1

PLOT DATE: 9/8/2023

DRAWN BY: JM

CHECKED BY: BJS

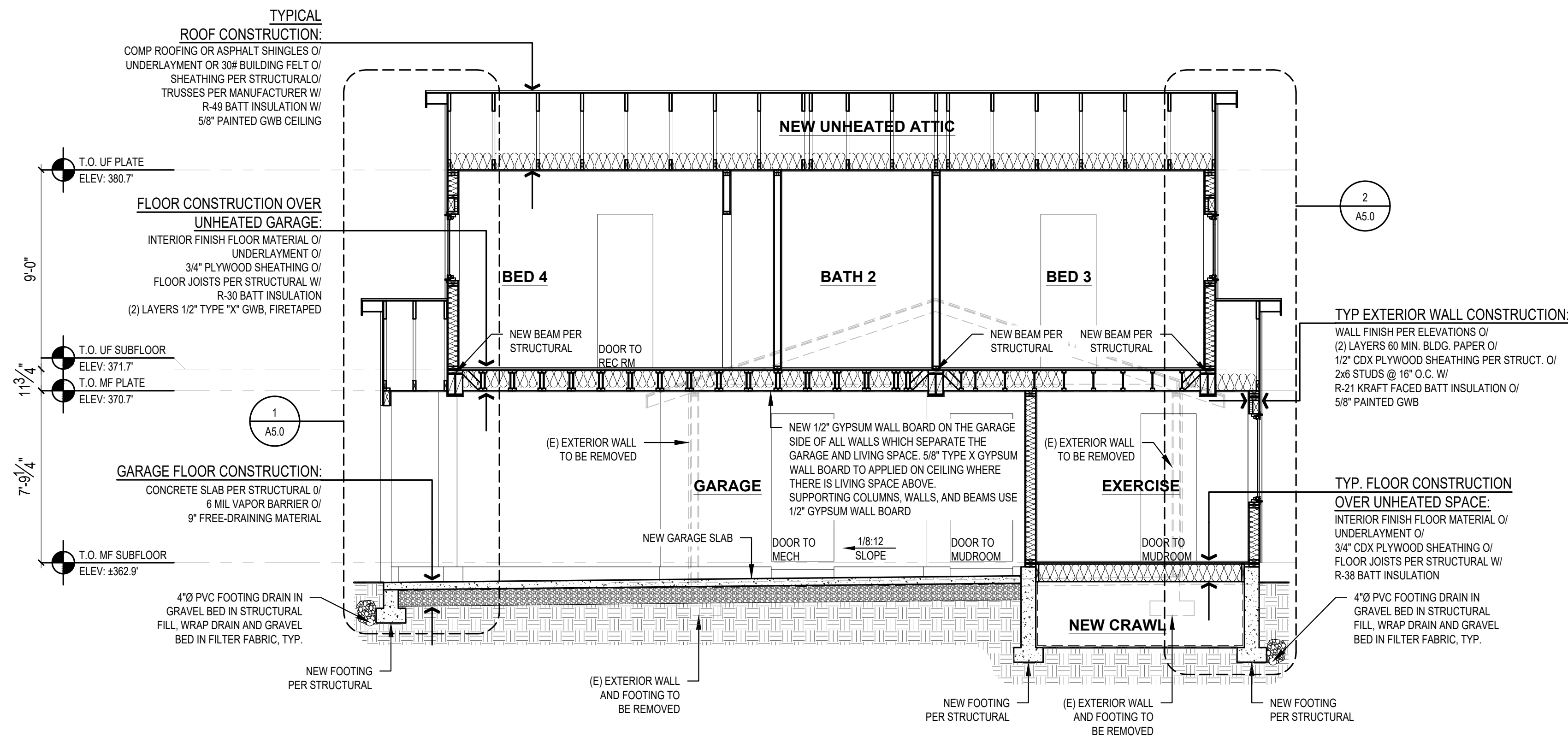
SHEET

A3.0

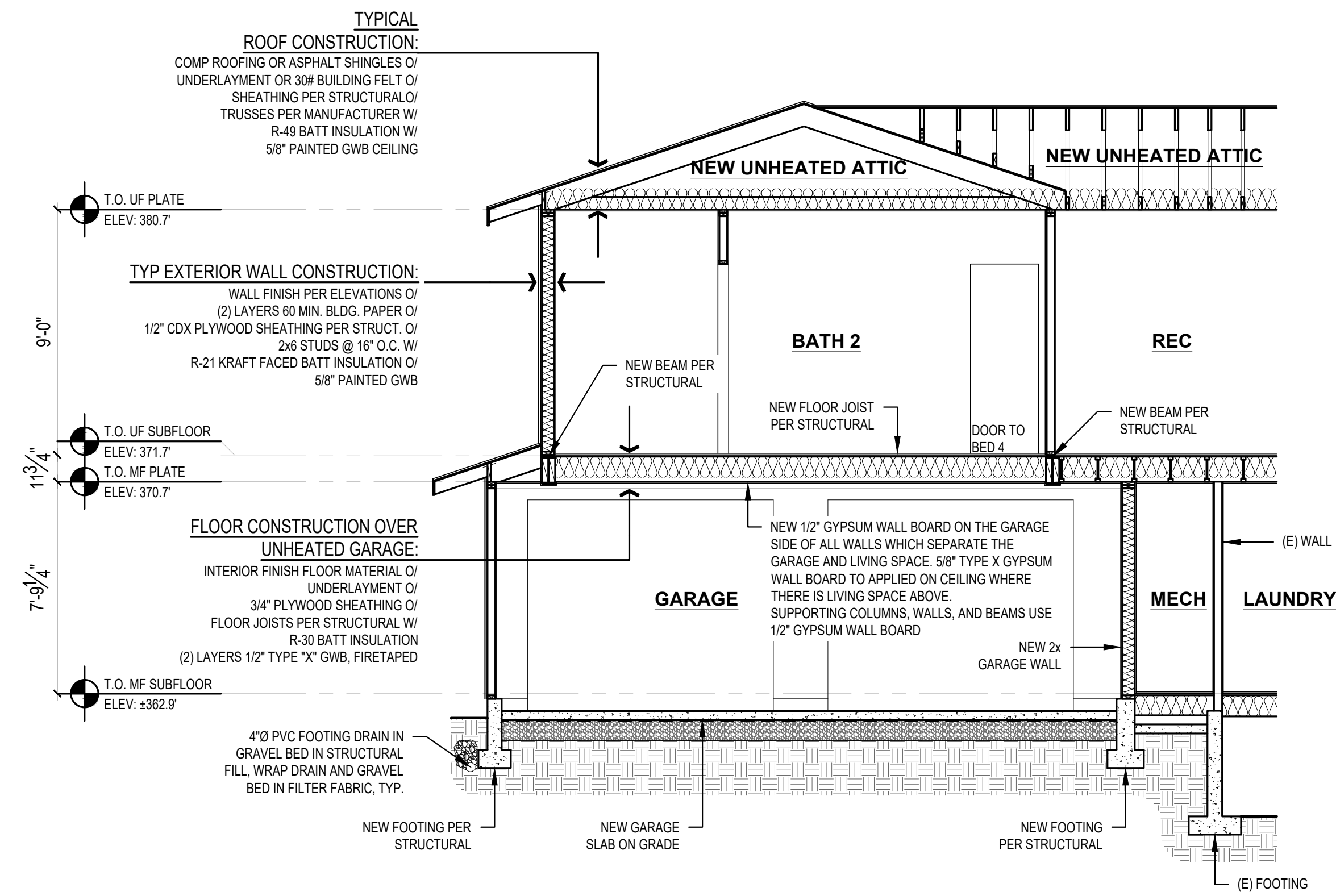


3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

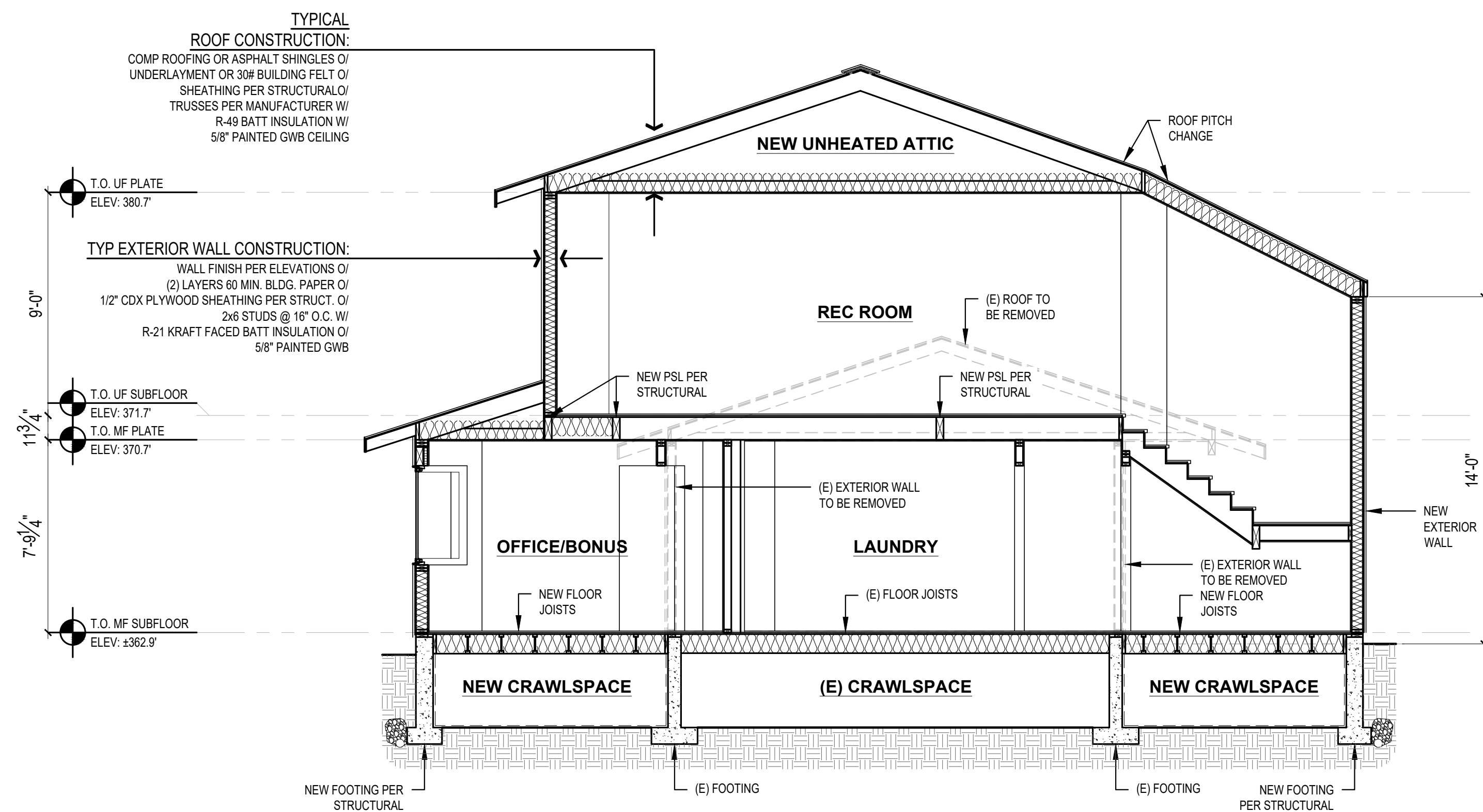
REVISIONS:	2022-8-8 CORRECTION 1
PLOT DATE:	9/8/2023
DRAWN BY:	JM
CHECKED BY:	BJS



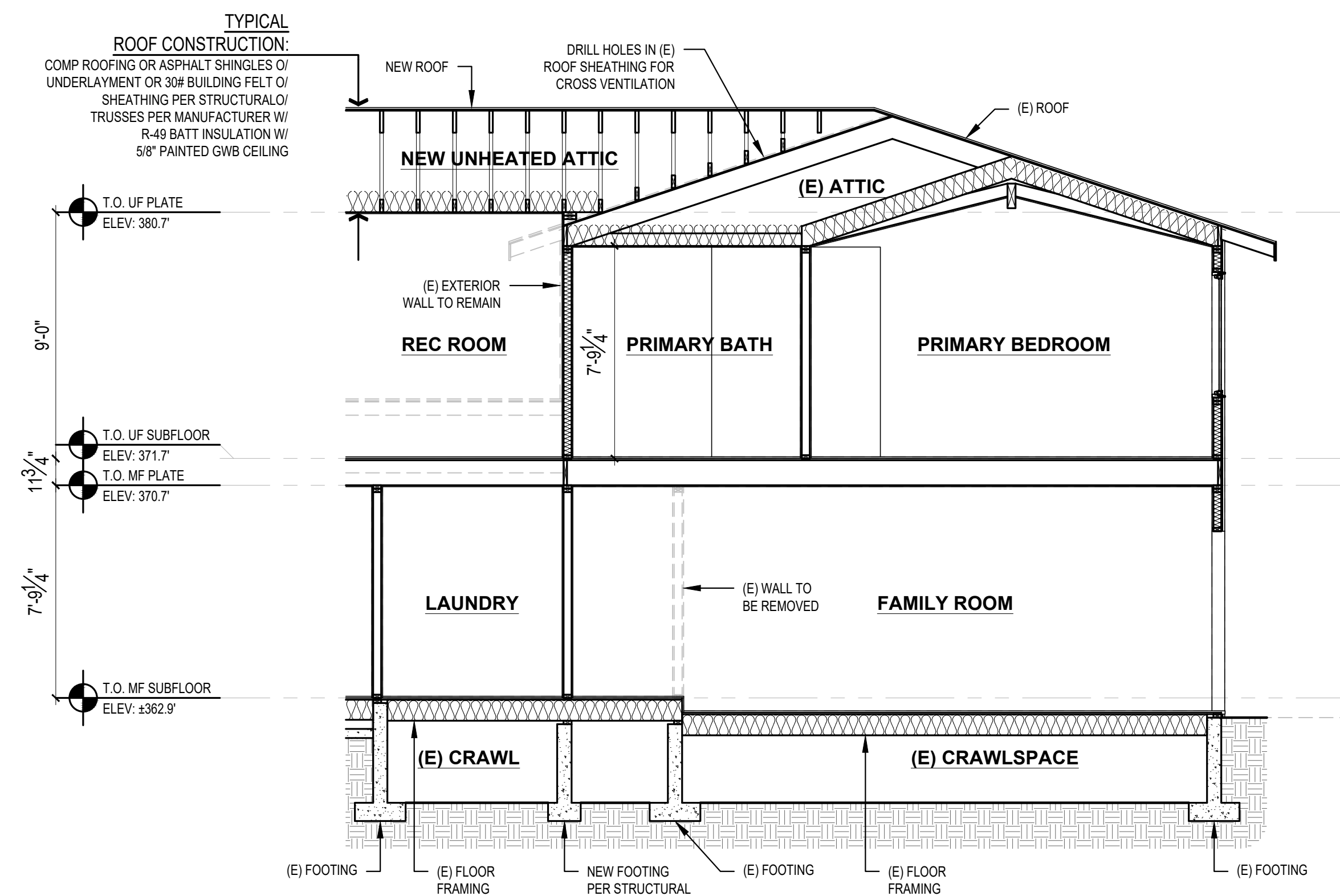
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 BUILDING SECTION
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CORRECTION SET 9/8/2023

REVISIONS:	2023-8-8 CORRECTION 1

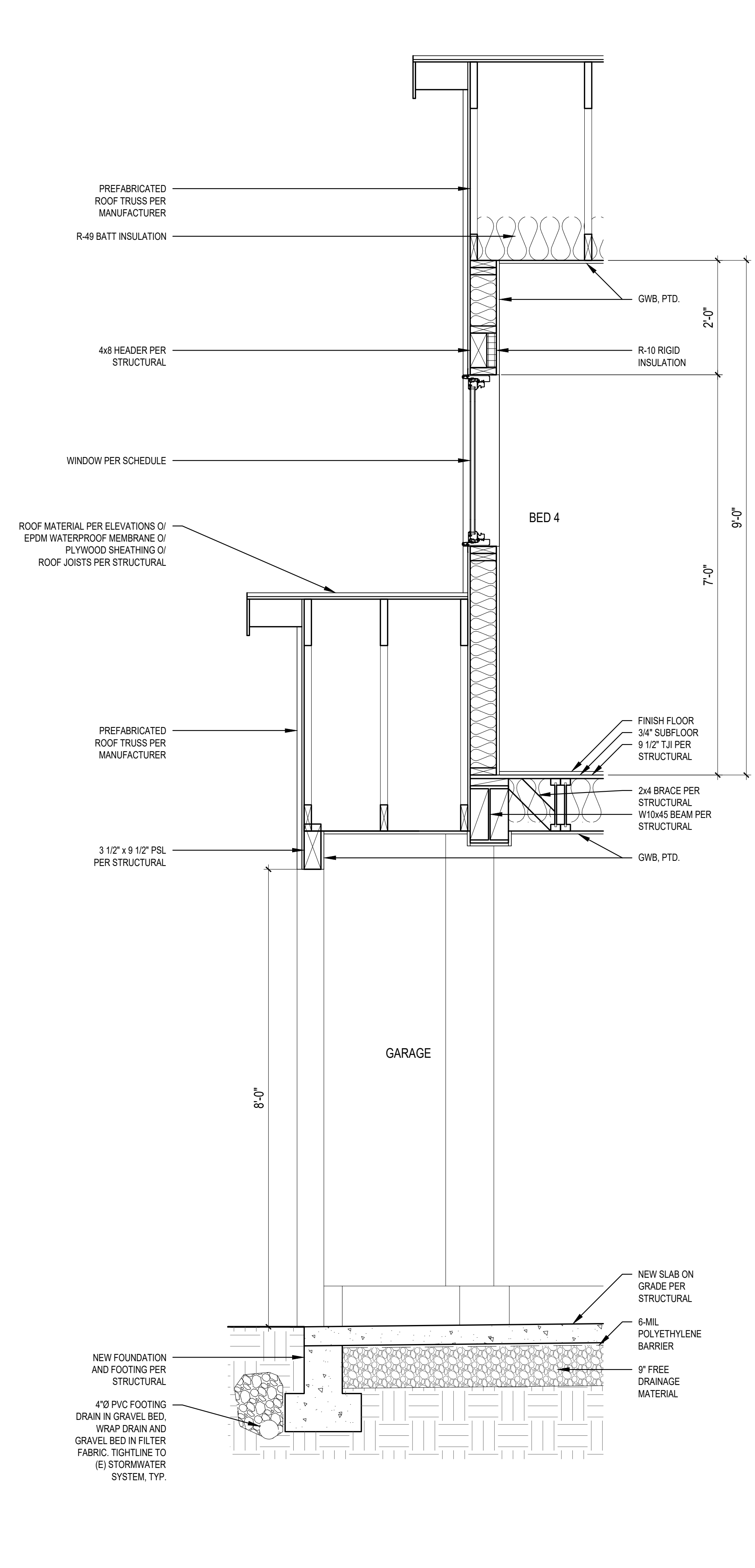
PLOT DATE: 9/8/2023

DRAWN BY: JM

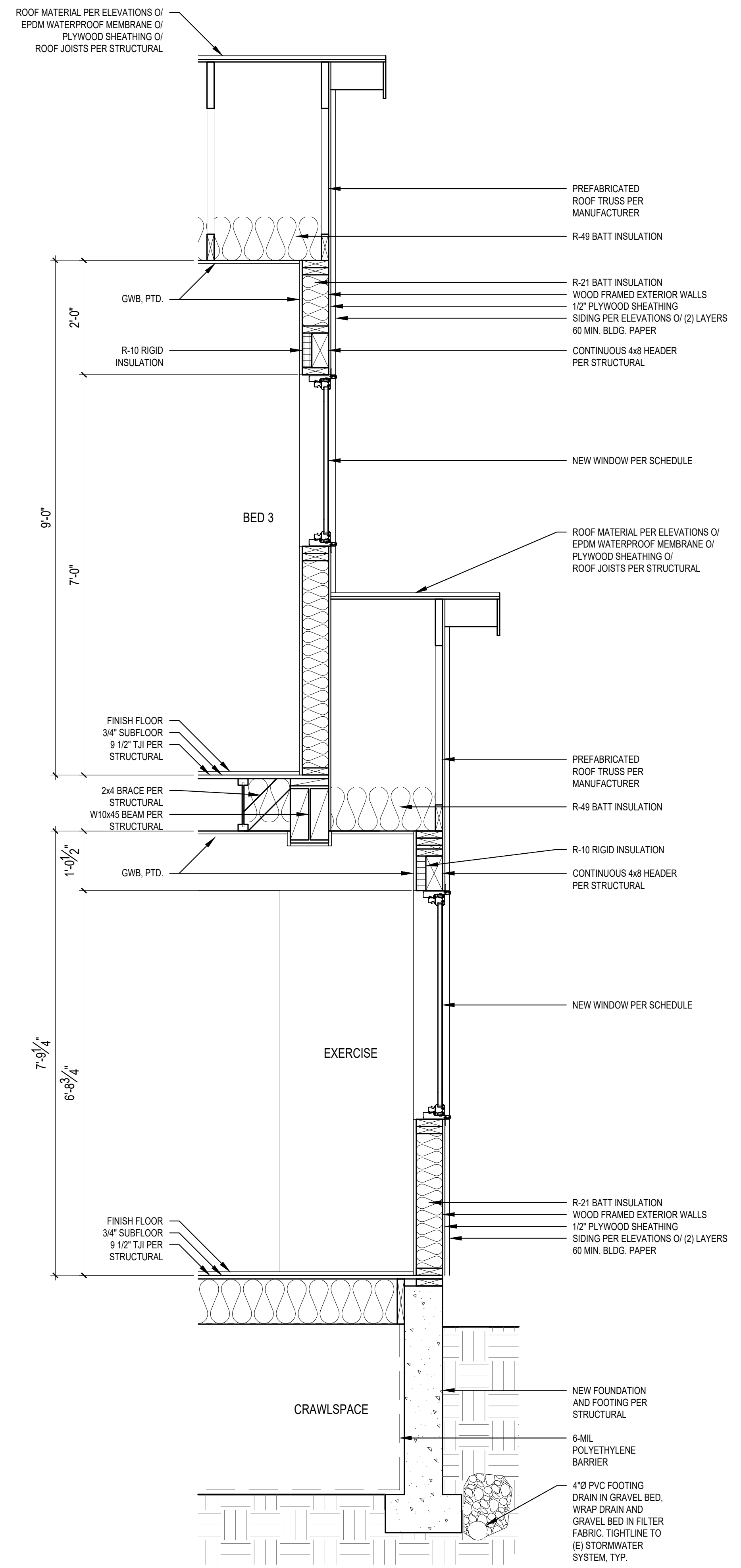
CHECKED BY: BJS

SHEET

A4.0



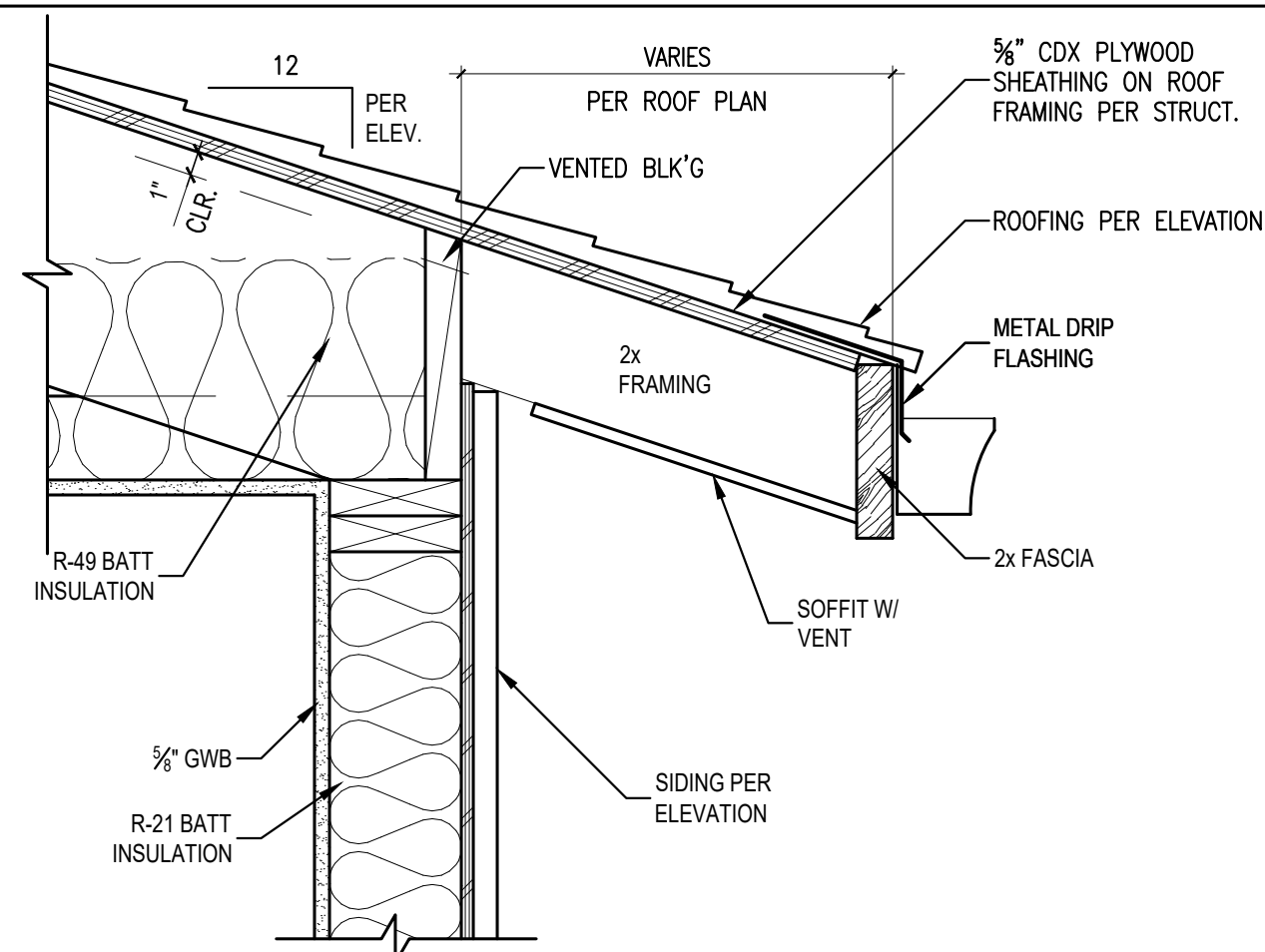
1 WALL SECTION
SCALE: 3/4" = 1'-0"



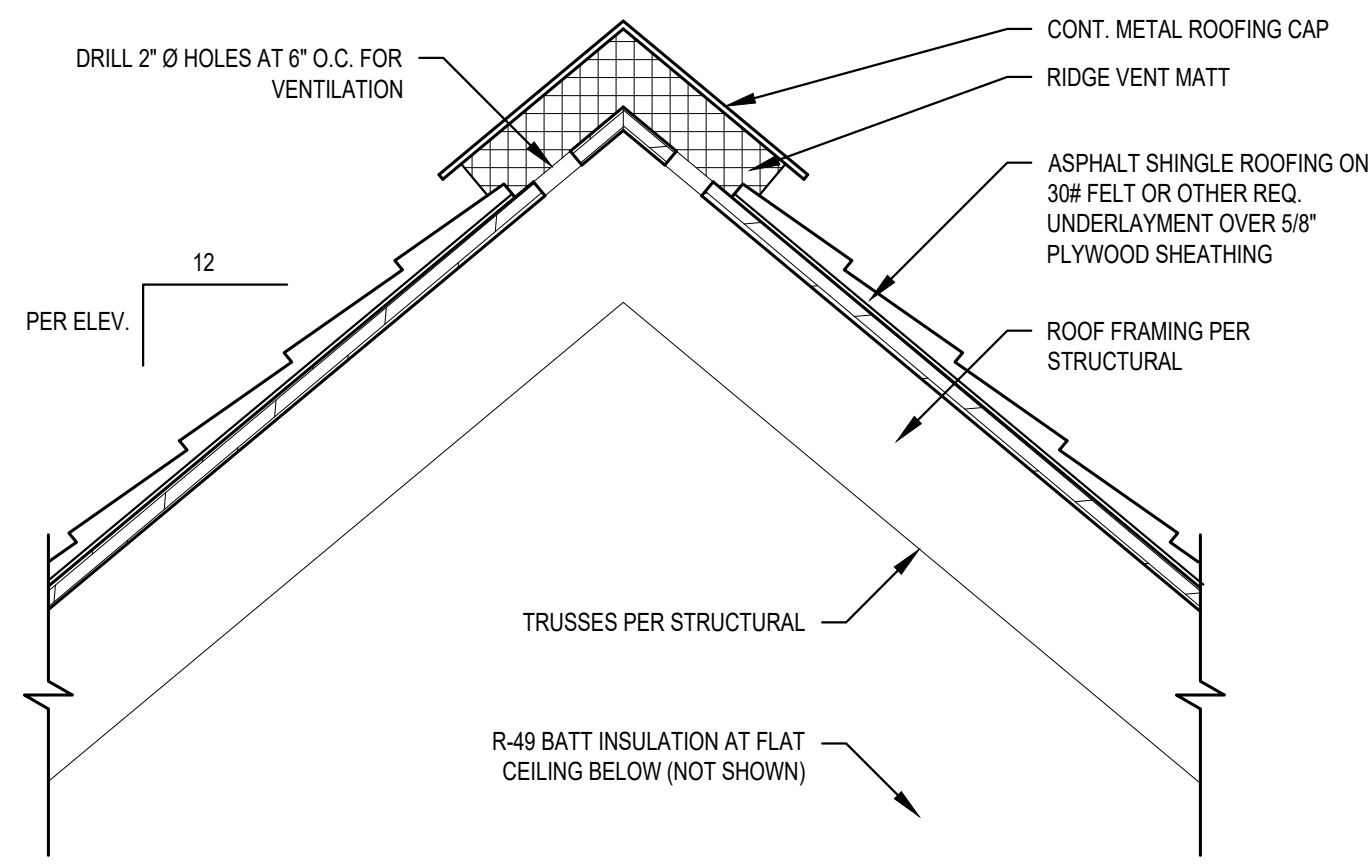
2 WALL SECTION
SCALE: 3/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CORRECTION SET 9/8/2023

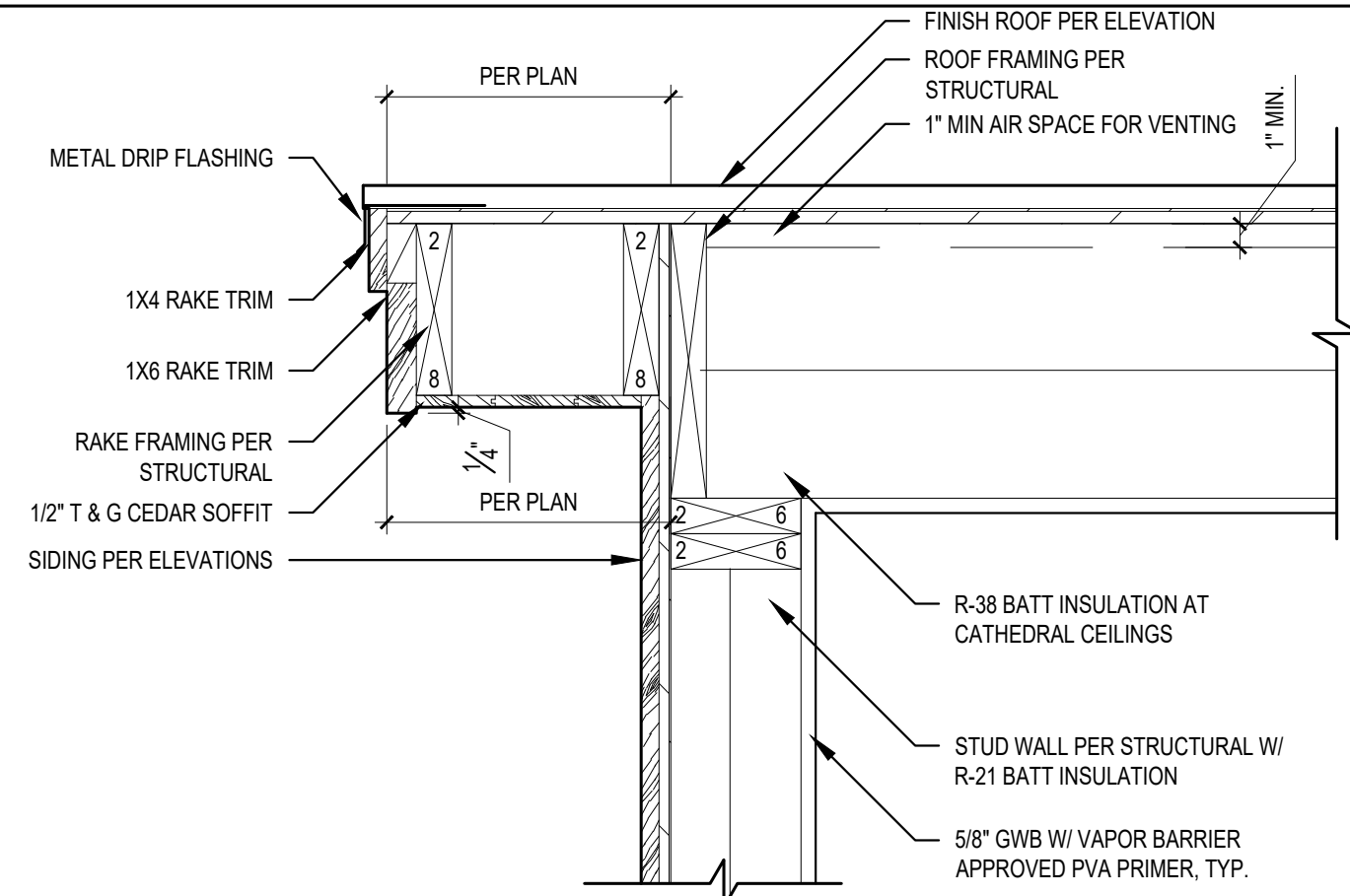
REVISIONS:	2023-8-8 CORRECTION 1
PLOT DATE:	9/8/2023
DRAWN BY:	JM
CHECKED BY:	BJS



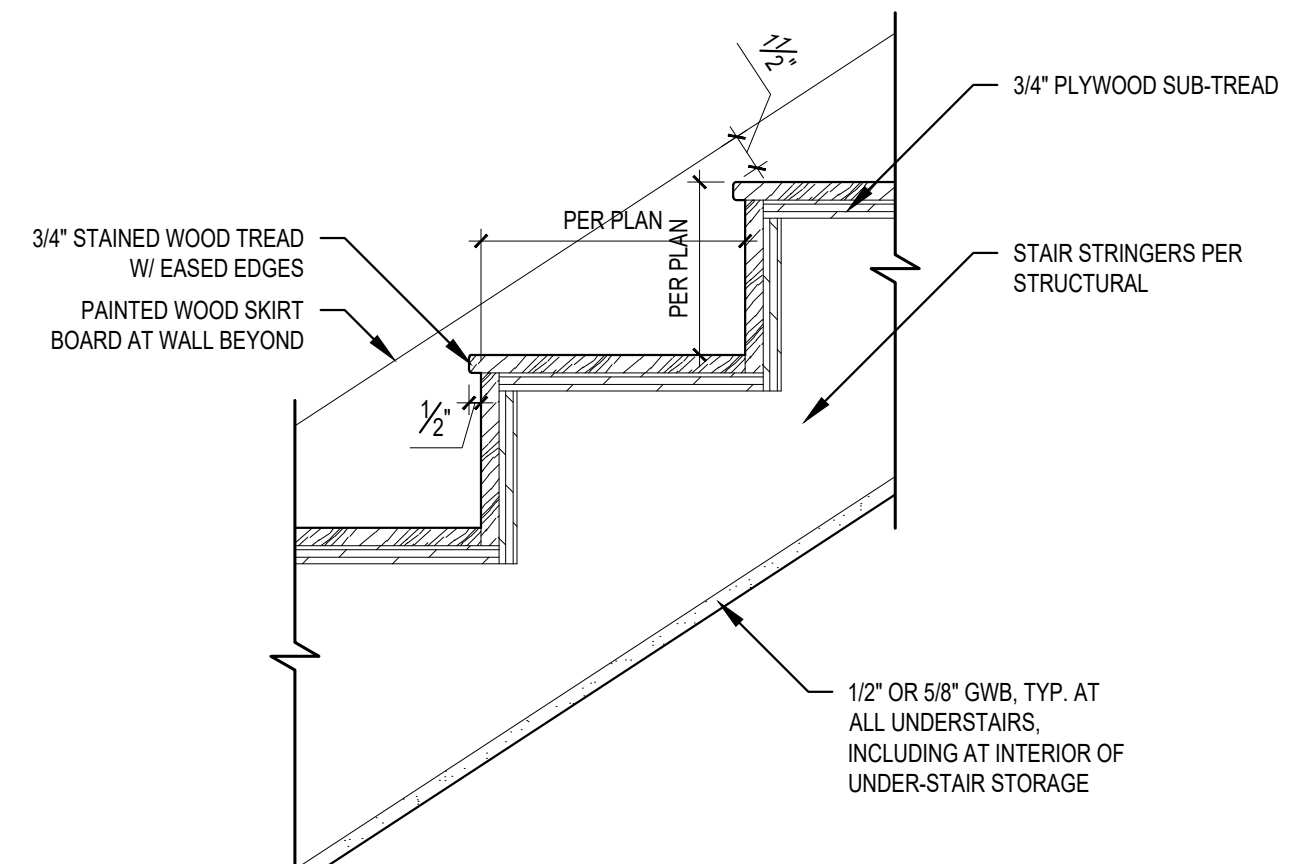
1 TYPICAL ROOF EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



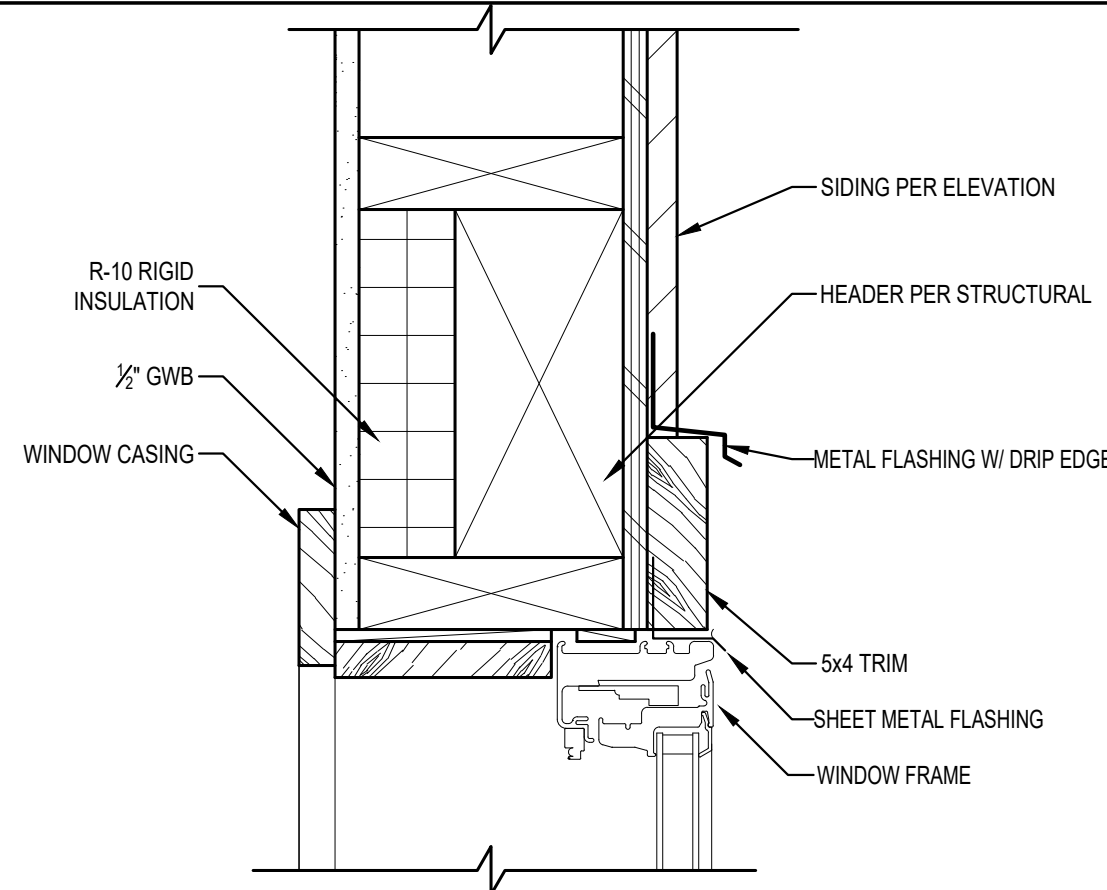
2 TYPICAL ROOF RIDGE VENT DETAIL
SCALE: 1 1/2" = 1'-0"



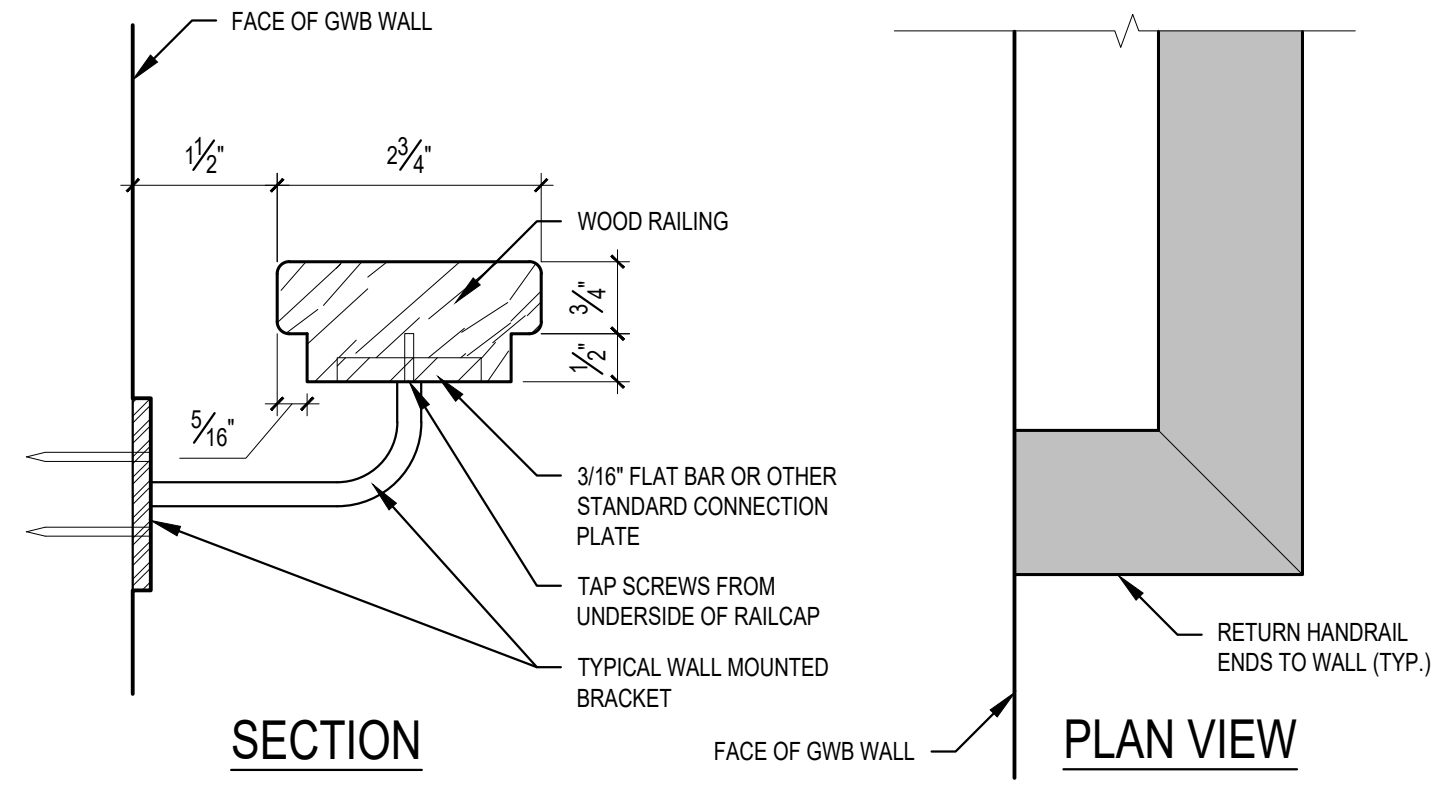
3 TYPICAL ROOF EAVE RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



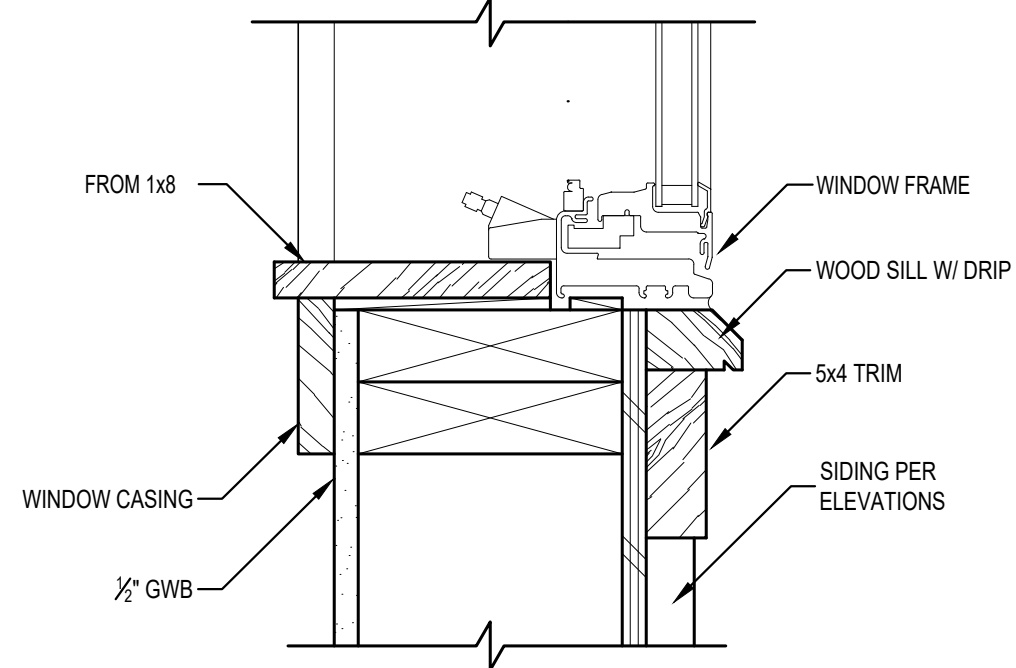
4 CLOSED RISER DETAIL (TYP.)
SCALE: 1 1/2" = 1'-0"



5 TYPICAL WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"

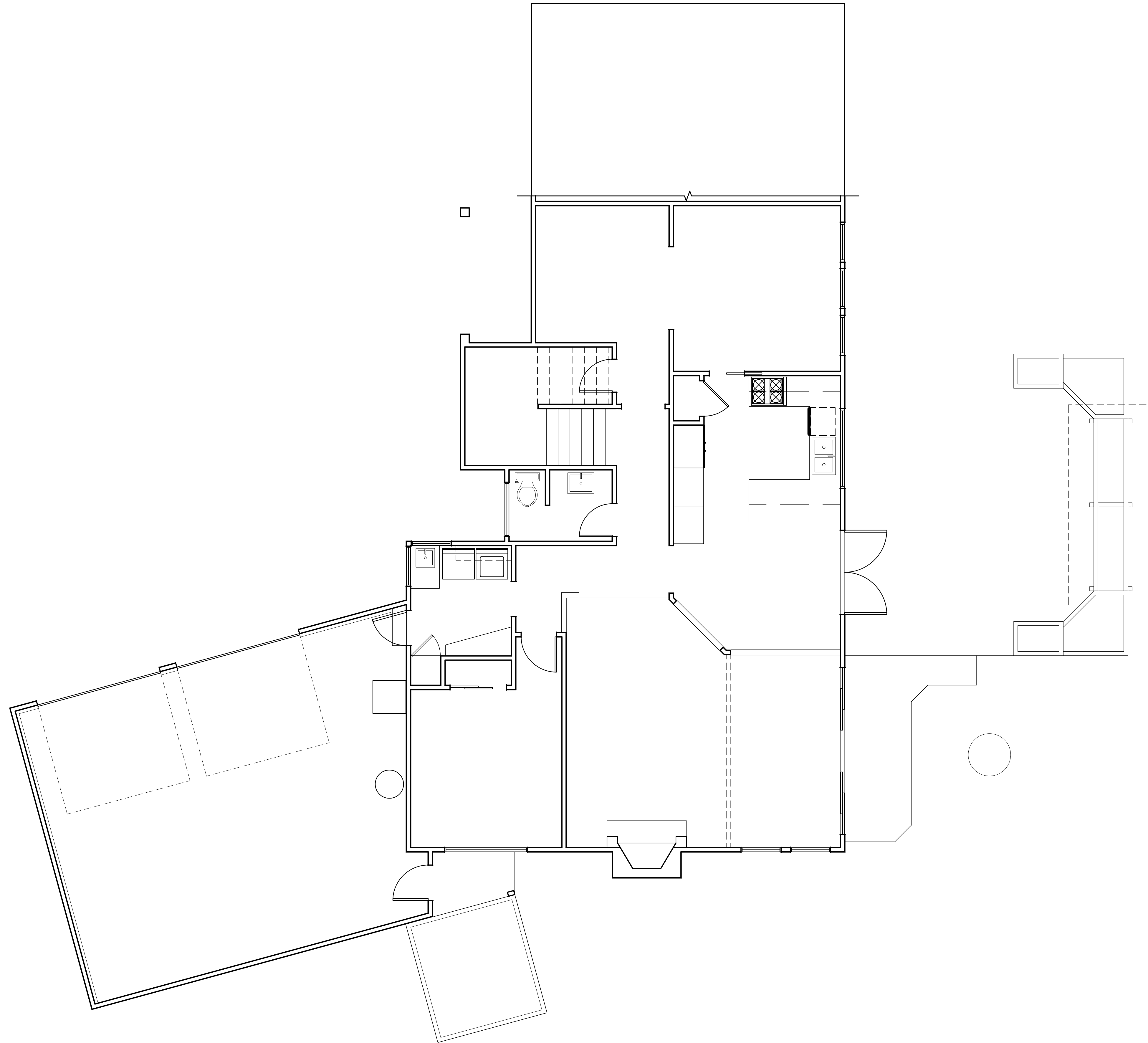


4 HANDRAIL DETAIL
SCALE: 6" = 1'-0"



9 TYPICAL WINDOW SILL DETAIL
SCALE: 3" = 1'-0"

REVISIONS:	2023-8-8 CORRECTION 1
PLOT DATE:	9/8/2023
DRAWN BY:	JM
CHECKED BY:	BJS
SHEET	



**AS-BUILT
MAIN FLOOR PLAN**
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS
A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CORRECTION SET 9/8/2023

REVISIONS:	DATE	DESCRIPTION
1	2023-8-8	CORRECTION 1
2		
3		
4		
5		

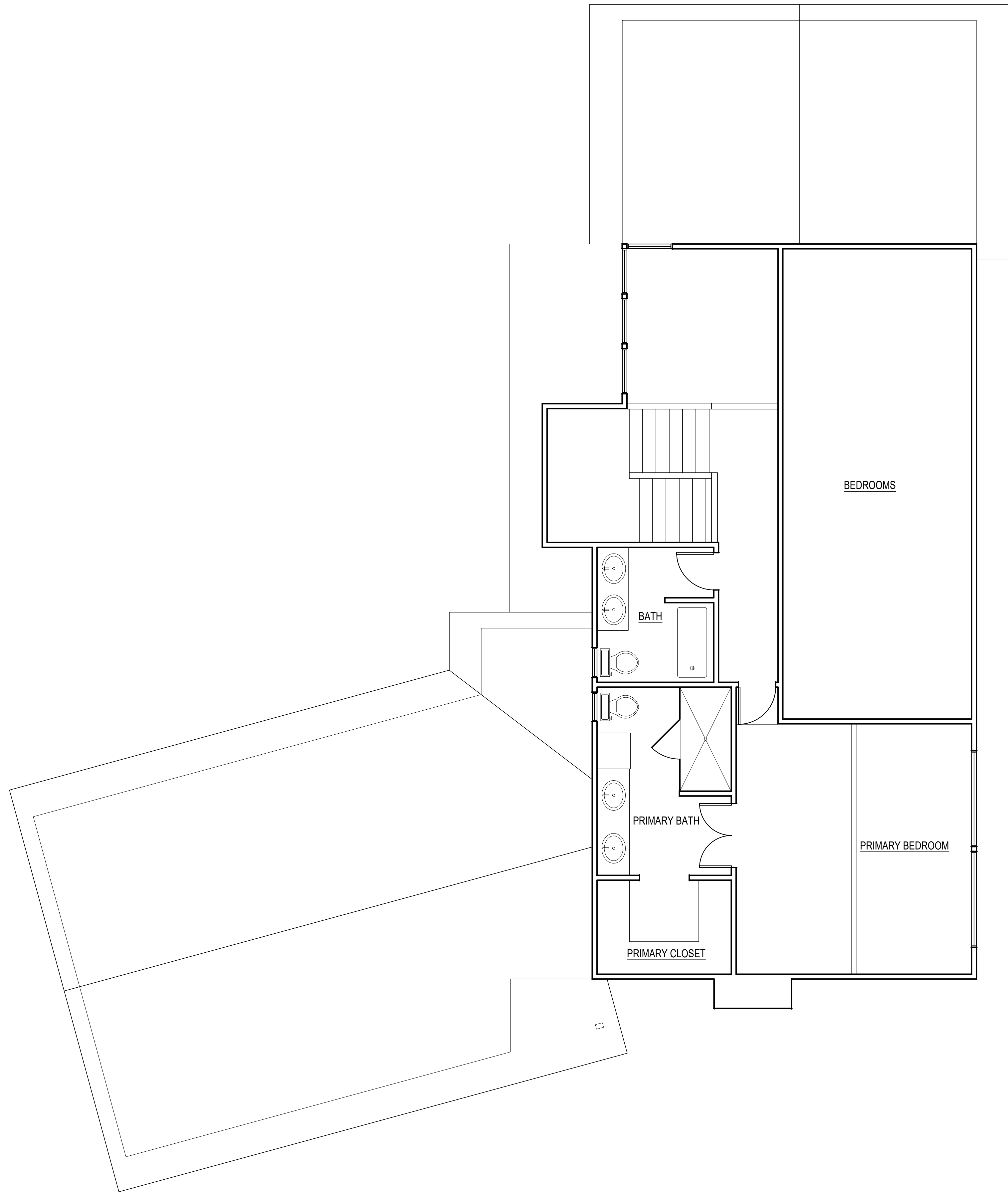
PLOT DATE: 9/8/2023

DRAWN BY: JM

CHECKED BY: BJS

SHEET

AB1



**AS-BUILT
UPPER FLOOR PLAN**
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS
A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
CORRECTION SET 9/8/2023

REVISIONS:	DATE	DESCRIPTION
1	2023-8-8	CORRECTION 1
2		
3		
4		
5		

PLOT DATE: 9/8/2023
DRAWN BY: JM
CHECKED BY: BJS

LITCHFIELD RESIDENCE

S221118-2

PROJECT INFORMATION

CLIENT
LAWRENCE AND CATHERINE LITCHFIELD

PROJECT ADDRESS
9001 SE 50TH ST
MERCER ISLAND, WA 98040

ARCHITECT
STURMAN ARCHITECTS, INC
9-103RD AVE NE, SUITE 203
BELLEVUE, WA 98004
PHONE: (425)-451-7003
CONTACT: BRAD STURMAN

STRUCTURAL ENGINEER
L120 ENGINEERING & DESIGN
13150 91ST PL NE
KIRKLAND, WA 98034
PHONE: (425) 636-3313
EMAIL: MTHURFJELL@L120ENGINEERING.COM
CONTACT: MANS THURFJELL, PE

CODES

ENGINEERED PER:
2018 (IRC) INTERNATIONAL RESIDENTIAL CODE
2018 (IBC) INTERNATIONAL BUILDING CODE

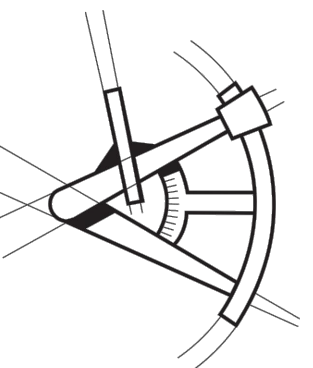
SHEET INDEX

COVER SHEET...S-0
STRUCTURAL GENERAL NOTES...S-1
FOUNDATION PLAN...S-2
FIRST FLOOR FRAMING PLAN...S-3
FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-4
SECOND FLOOR FRAMING PLAN...S-5
SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-6
ROOF FRAMING PLAN...S-7

STRUCTURAL DETAILS...SD-1
STRUCTURAL DETAILS...SD-2



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REVISIONS

△	DESCRIPTION	DATE	BY
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PROJECT NAME

LITCHFIELD RESIDENCE

9001 SE 50TH ST
MERCER ISLAND, WA 98040

PROJECT NUMBER

S221118-2

DRAWN BY - BS

CHECKED BY - MRT

SHEET DATE - 02/17/2023

SCALE

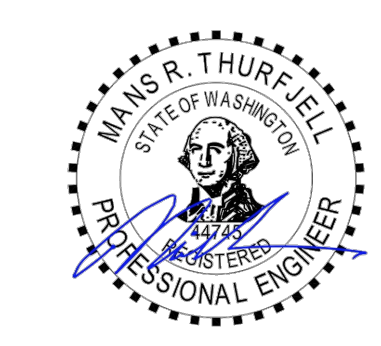
24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION

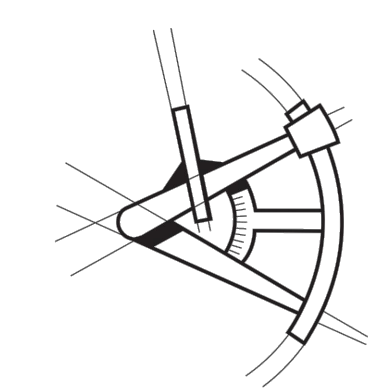
COVER SHEET

SHEET

S-0



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REVISIONS
△ DESCRIPTION DATE BY

PROJECT NAME

LITCHFIELD RESIDENCE
9001 SE 50TH ST
MERCER ISLAND, WA 98040

PROJECT NUMBER
S221118-2

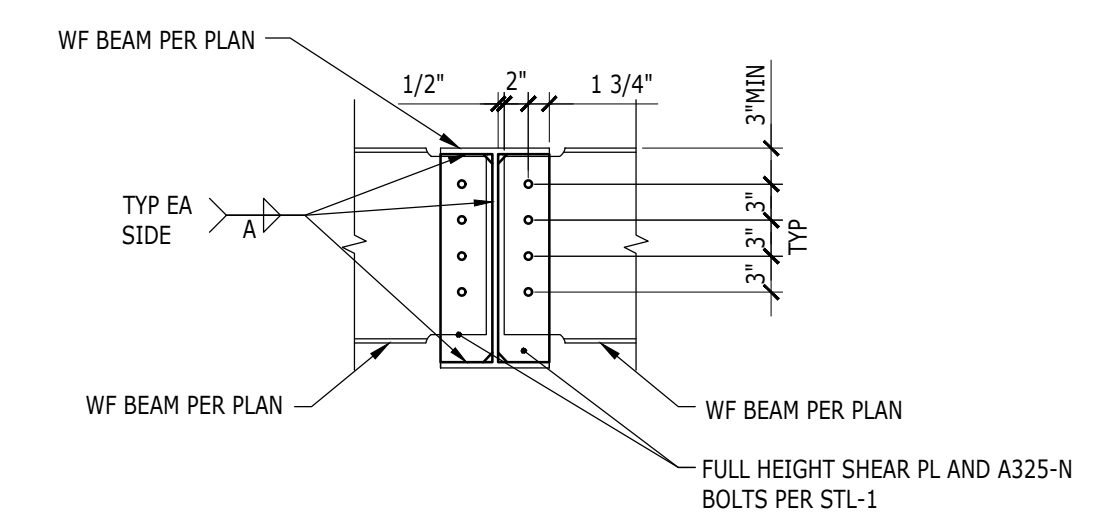
DRAWN BY - BS

CHECKED BY - MRT

SHEET DATE - 02/17/2023

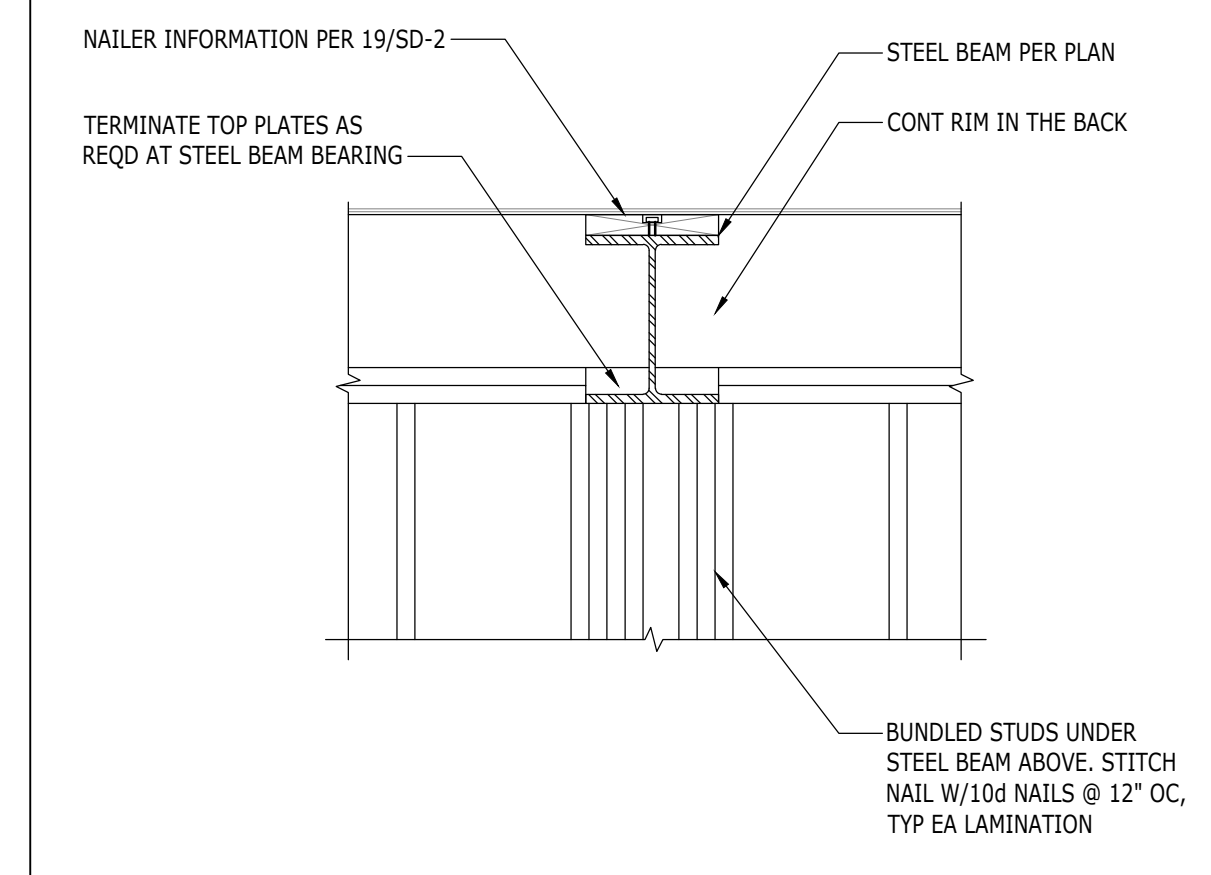
SCALE
24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION
STRUCTURAL DETAILS
SHEET
SD-3

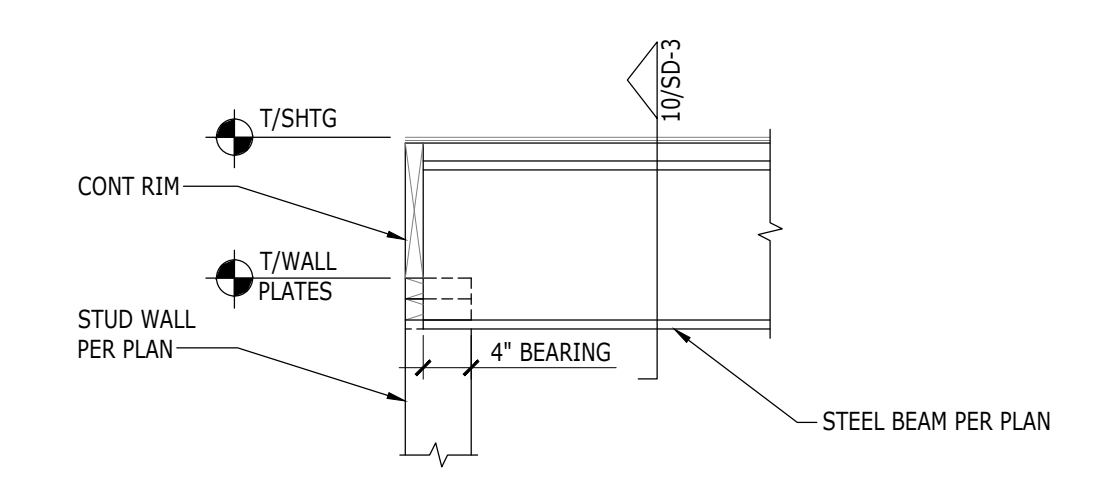


BEAM CONNECTION SCHEDULE					
BEAM SIZE	#BOLTS	BOLT DIAMETER A325-N	PLATE THICKNESS	WELD SIZE A	CAPACITY (k)
W10	2	7/8"	3/8"	1/4"	26
W12	3	7/8"	3/8"	1/4"	39
W14	3	7/8"	3/8"	1/4"	39
W16	4	7/8"	3/8"	1/4"	52
W18	5	7/8"	3/8"	5/16"	65
W21	6	7/8"	3/8"	5/16"	78
W24	7	7/8"	3/8"	5/16"	91
W27	8	7/8"	7/16"	5/16"	115

4 SINGLE PLATE BEAM CONNECTION



10 STEEL BEAM BEARING ON TRIMMERS



15 STEEL BEAM BEARING ON TRIMMERS

1

2

3

6

7

8

9

11

12

13

14

16

17

18

19

20